

2 0 1 2 M A S T E R P L A N
F O R
A L T I S A T
M A M M O T H L A K E S

67 Bridges Lane and 75 Ansel's Place
Mammoth Lakes, CA
(Assessor's Parcel #31-260-01, -02, -03)

August 9, 2012

Prepared by
Mammoth Lakes Bridges Development Company, LLC
80 Canyon Blvd. Mammoth Lakes, CA
Post Office Box 24, Mammoth Lakes, CA 93546



COMMUNITY AND ECONOMIC DEVELOPMENT DEPARTMENT POLICY: LOT COVERAGE AND SITE COVERAGE FOR ALTIS AT MAMMOTH LAKES

Purpose: The purpose of this policy is to clarify lot coverage, Site coverage, and buildable area as identified in the 2012 Master Plan for Altis at Mammoth Lakes (“Master Plan”).

2012 Master Plan for Altis at Mammoth Lakes: Property Development Standards

Section 3.4 - Maximum Lot Coverage and Site Coverage. The maximum lot coverage for each lot is shown in the Plot Plans attached collectively as Exhibit C. The maximum Site coverage, including all structures and paved or other impervious surfaces, shall be 52.5%.

Interpretation:

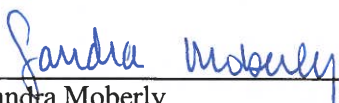
Lot Coverage: Maximum lot coverage for individual lots is specified in Exhibit B-1 and Exhibit C of the Master Plan. The maximum square footage of lot coverage is identified on the exhibits for each individual lot. For all lots, this number equals 40% of the area of the entire lot. As the Master Plan does not provide a definition for lot coverage, the definition of lot coverage from the Municipal Code shall be used. The Municipal Code defines lot coverage as the percentage of gross lot area, exclusive of any required dedications, occupied by structures, decks, driveways and parking areas (regardless of driveway material), walkways, and all impervious surfaces. When calculating site coverage of a structure or building, the exterior walls of the structure or building at ground level should be used. The following features may be excluded from lot coverage calculations:

- Eaves;
- 50 percent of the area of covered and uncovered decks that are at least eight feet above grade;
- Paving materials used for landscape purposes that are more than 50 percent porous (driveways and parking areas are counted 100 percent towards lot coverage regardless of material); and Town of Mammoth Lakes Zoning Code Article VII – Zoning Code Definitions Chapter 17.148 Definitions Page VII-40
- Subterranean or podium structures topped by landscaped open space areas of at least 10 feet by 10 feet by four feet deep.

Site Coverage: Section 3.4 of the Master Plan states the maximum Site coverage, including all structures and paved or other impervious surfaces, shall be 52.5%. The term “Site coverage” when used in the Master Plan refers to the area covered by all building footprints and paved or other impervious surfaces, including private roadways, for the entire subdivision.

Buildable Area: Buildable Area for individual lots is identified in Exhibit C - Single Family Plot Plans of the Master Plan. The allowable square footage of buildable area is specified on the exhibit for each individual lot and is depicted as an outlined area. Buildable Area is the portion of the lot that can be occupied by a structure and is limited by setbacks, slope, and preservation of significant trees, among other criteria. Eaves and cantilevered decks can extend outside the identified area up to the amount allowed by Municipal Code Table 17.36.100 (Allowed Projections into Setbacks). Buildable Area is different than Lot Coverage, whereas, Lot Coverage includes all impervious surfaces such as building footprints and driveways and Buildable Area only identifies the area that can be occupied by a structure.

Approved:


Sandra Moberly
Community and Economic Development Director

Dated: 10.24.19

TABLE OF CONTENTS

1. Project Description	1
2. Land Use Standards	2
2.1 Introduction	
2.2 Permitted and Conditional Uses	
3. Property Development Standards	2
3.1 Minimum Lot Size	
3.2 Density	
3.3 Setbacks and Separations	
3.4 Maximum Site Coverage	
3.5 Building Height	
3.6 Window Finishes	
4. Access Roads and Parking Requirements	4
4.1 Access drives	
4.2 Parking	
4.3 Driveways	
5. Site Development Standards	5
5.1 Grading and Clearing	
5.2 Snow Shedding and Storage Standards	
5.3 Planting and Tree Preservation	
5.4 Walls and Fences	
5.5 Setbacks	

6. Exhibits

8

Exhibit A – Vicinity Map

Exhibit B - Site Plans

B-1 Single-Family Lots

B-2 Duplex Townhomes

Exhibit C – Plots Plans for Single-Family Lots

Exhibit D – CEQA Documents

D-1 Mitigation Measures and Mitigated Negative Declaration with Addendum

D-2 Addendum II Storied Places/Altis Project Initial Study/Mitigated Negative Declaration

D-3 Addendum II Storied Places/Altis Project Initial Study/Mitigated Negative
Declaration Mitigation Monitoring and Reporting Program

1. Project Description

This 2012 Master Plan for Altis at Mammoth Lakes (“2012 Master Plan”) creates a neighborhood of single-family homes and duplex townhomes which comprise a maximum of 24 dwelling units (plus one amenity building) on a 3.21-acre parcel (the “Site”). The Site is located within the Resort Zone and lies adjacent to a ski run at Mammoth Mountain Ski Area. The Site contains two duplex townhomes (4 dwelling units) that were constructed pursuant to the Master Plan for Altis at Mammoth Lakes (“2008 Master Plan”), which was approved by the Planning Commission of the Town of Mammoth Lakes (“Town”) on May 28, 2008 (Resolution No. PC-2008-07) and was approved by the Town Council of the Town on June 18, 2008 (Ordinance No. 08-07).

The 2012 Master Plan proposes to permit the development of single-family homes at Altis, in addition to the currently-approved duplex townhomes, and to establish development standards for those single-family homes. Single-family homes are a permitted use within the Resort Zone. Mammoth Lakes Municipal Code (the “Municipal Code”) Section 17.28.240 permits zoning changes within the Resort Zone.

The Site is identified as the “Bridges Parcel” in the Development Agreement dated February 15, 2002 (the “Effective Date”) among the Town, Intrawest California Holdings, Inc. (“Intrawest”) and various Intrawest affiliates. Therefore, an application to develop the Site is processed in accordance with the “Vested Rules”, which the Development Agreement defines as the “ordinances, resolutions, rules, regulations, requirements, and official policies of the Town in effect as of the Effective Date, whether set forth in the General Plan, the Municipal Code, or otherwise...”

The 1987 Mammoth Lakes General Plan (the “1987 General Plan”) was in effect on the Effective Date of the Development Agreement, and presents a vision for the future of Mammoth Lakes. The Land Use Element of the 1987 General Plan presents goals for development. Goal number 3 is “to improve the economic stability of Mammoth Lakes by establishing the community as a year-round destination resort, while preserving the unique natural setting of the community and wildlife habitat which attracts both visitors and residents.”

The 2012 Master Plan will provide a low-density mix of ski-in and ski-out single-family homes and duplex townhomes in a spectacular natural setting. To maintain the natural character of the Site, structures will be positioned to maximize the preservation of existing trees and slopes, to integrate with the existing landscape, and to promote privacy and preserve views.

This 2012 Master Plan includes text and diagrams that specify the requirements for development of Altis at Mammoth Lakes.

2. Land Use Standards

2.1 Introduction – Zoning and development standards not specifically noted shall be consistent with the Municipal Code. Where not addressed in this 2012 Master Plan, Residential Single-Family (“RSF”) zoning and development standards shall apply to single-family homes, and Residential Multi-Family-2 (“RMF-2”) zoning and development standards shall apply to the duplex townhomes.

2.2 Permitted and Conditional Uses

2.2.1 Permitted Uses

2.2.1.1 One single-family home on each lot

2.2.1.2 One attached or detached guest unit on each single-family lot

2.2.1.3 Transient rental of single-family homes, guest units, and duplex townhomes

2.2.1.1 All single-family homes and guest units shall require an administrative design review permit.

2.2.2 Conditional Uses

2.2.2.1 Duplex (multi-family) townhomes with or without fractional ownership

2.2.2.2 Amenity Building (private recreational facility directly related to primary use)
The amenity building is required only if the total number of dwelling units exceeds twenty. The amenity building may be constructed if fewer than twenty total dwelling units are constructed.

2.2.2.3 Manager’s Unit

3. Property Development Standards

3.1 Minimum Lot Sizes

3.1.1 Single-Family Homes:

3.1.1.1 Minimum Gross Lot Area shall be 8,500 square feet.

3.1.1.2 Minimum Buildable Area shall be 2,000 square feet.

3.1.1.3 Minimum Lot Width shall be 75 feet.

3.1.1.4 Minimum Lot Depth shall be 80 feet.

3.1.2 Duplex Townhomes:

3.1.2.1 Minimum Gross Lot Area shall be 8,500 square feet.

3.1.2.2 Minimum Buildable Area shall be 2000 square feet.

3.1.2.2 Minimum Lot Width shall be 75 feet.

3.1.2.3 Minimum Lot Depth shall be 80 feet.

3.2 Density - The maximum density on the Site shall be 24 dwelling units plus one amenity building. The maximum number of single-family homes shall be nine. In addition to a single-family home, each single-family lot may contain one attached or detached guest unit, which may not exceed thirty percent of the floor area of the single-family home if attached or one thousand two hundred square feet if detached. Any guest unit shall not be counted in the calculation of density for the Site.

3.3 Setbacks and Separations - The minimum setbacks and separations for structures shall be as follows:

3.3.1 Side Yard Setbacks

3.3.1.1 Side Yards that do not border USFS lands/ski hill - 10 feet.

3.3.1.2 Side Yards that border USFS lands/ski hill - 5 feet

3.3.2 Private Setback from John Muir Way and/or Bridges Lane - 10 feet from edge of pavement

3.3.3 Separations

3.3.3.1 Minimum building separation shall be no less than 10 feet.

3.3.3.2 Where building construction type requires greater separation per building codes, the building codes shall apply. Minimum building separation is subject to Design Review for compliance with snow shedding requirements.

3.4 Maximum Lot Coverage and Site Coverage – The maximum lot coverage for each lot is shown in the Plot Plans attached collectively as Exhibit C. The maximum Site coverage, including all structures and paved or other impervious surfaces, shall be 52.5%.

3.5 Maximum Building Height– Building Height is the average of the four outermost corners of the structure from natural grade to the topmost point of the building. Chimneys and similar appurtenances may project a maximum of two feet above the maximum building height of any structure. Building Face Height is the maximum height of the topmost point of the building to the lowest point of the natural grade within the buildable area of the lot. The maximum allowable Building Height and Face Height shall be as follows:

3.5.1 Single-Family Homes.

3.5.1.1 Maximum Building Height: Lots 1, 2, 3, 4, 5, 6, 7, and 8: 39 feet

Lot 9: 44 feet

3.5.1.2 Maximum Face Height: Lots 1, 2, 3, 4, 7: 45 feet

Lots 5 and 6: 46 feet

Lot 8: 48 feet

Lot 9: 51 feet

3.5.2 Duplex Townhomes

3.5.2.1 Maximum Building Height: Buildings 1A, 2A, 4A, 5A, 6B, 7B, 8C, 9C, 10B, 11B, 12B: 39 feet

Building 3A: 44 feet

3.5.2.2 Maximum Face Height: Buildings 1A, 2A, 4A: 48 feet

Building 3A: 51 feet

Building 6B, 7B: 46 feet

Buildings 5A, 8C, 9C, 10B, 11B, 12B: 45 feet

3.5.3 Amenity Building

3.5.3.1 The maximum building height of the amenity building is 22 feet.

3.6 Window Finishes - All buildings shall use tinted glass meeting the objective of minimizing reflectivity and transmittance levels on all windows, which shall include the sum total of HP Sun-2 or equivalent.

4. Access Roads and Parking Requirements

4.1 Access Roads - Access roads shall be constructed to have a minimum paved surface of 24 feet, capable of supporting imposed emergency vehicle weights (60,000 pounds). A minimum of 26 feet of right-of-way with ten foot easements for snow storage and utilities on either side for a total of 46 feet shall be provided.

4.2 Parking – Parking shall be provided as follows:

4.2.1 Single-Family Homes - Each single-family home shall have an attached garage that holds a minimum of two cars. In addition to the attached garage, each single-family home shall include at least one 20-foot by 10-foot parking space in its driveway. Each guest unit will require one additional 20-foot by 10-foot on-site parking space. Parking requirements for single-family homes shall be consistent with Municipal Code 17.16.150.H.1 and 17.16.150.K where additional parking is required based on the home's square footage exclusive of garages and decks:

- a. 0-2,999 s.f. – 3 parking spaces required.
- b. 3,000-4,999 s.f. – 4 parking spaces require
- c. 5,000-6,999 s.f. – 5 parking spaces required
- d. 7,000 s.f. and greater – 6 parking spaces required

4.2.2 Duplex Townhomes – Each dwelling unit in each duplex townhome shall have an attached garage that holds a minimum of two cars. Parking shall not be permitted in any driveway less than 20 feet in length. Guest Parking is required for the duplex townhomes and shall conform to the provisions of Municipal Code Section 17.16.150. These spaces shall be designed to be available to guests and visitors and shall not be allocated to individual dwelling units. Parking areas may be paved with asphalt, concrete, concrete pavers, turf stone, or other materials.

4.3 Driveways

4.3.1 Single-Family Homes - Only one driveway is permitted for each single-family home. Minimum driveway width shall be 20 feet

4.3.2 Duplex Townhomes – Minimum driveway width shall be 20 feet.

5. Site Development Standards

5.1 Grading and Clearing

5.1.1 Grading operations will be carefully managed to avoid environmental damage to adjacent non-graded areas, to protect existing trees, and to avoid impacts upon nearby properties to the extent feasible.

5.1.2 Grading will create natural-looking slopes where feasible, with varying gradients and profiles rather than the creation of uniform slopes. Round and feather tops, toes and edges of slopes will blend naturally with adjacent grades. Slope rounding may be limited or eliminated in areas where existing trees remain or project improvements are located. For areas with extensive

grade change, vertical retaining walls may be necessary. For retaining wall materials, see Walls and Fences, Section 5.4.

5.1.3 All construction activities shall adhere to the current standards of the Town for erosion control. All buildings shall have interim erosion control measures such as filter fabric fencing, straw wattles or hay bale fencing to contain silt runoff during construction activities.

5.1.4 Each structure shall install a cobble-lined swale at the drip-line of the eaves. The purpose of the swale is to mitigate potential erosion and provide percolation.

5.1.5 Existing trees shall be preserved in groups or as individual trees in grading design.

5.1.5.1 A tree designated for preservation shall not have the soil grade altered within its drip-line or within 8' from the trunk, whichever is less. The grade may be raised or lowered if a certified arborist, with the concurrence of the Town, determines that the impact of raising or lowering the grade will not adversely affect the health of the tree. Appropriate barricades and fencing shall be installed at the drip-line or within 8 feet from the trunk, whichever is less, to protect preserved trees during grading and construction operations.

5.1.5.2 No impervious surfaces, fill, excavation, or storage of construction materials shall be permitted within the drip-line area described above.

5.2 Snow Shedding and Storage Standards

5.2.1 An area equal to a minimum of seventy-five percent of all uncovered required parking and driveway areas shall be provided for the storage of snow. All designated snow storage areas shall be at least ten feet wide and deep in the smallest dimension and shall be readily accessible and usable. These areas shall be unpaved and shall be substantially free and clear of obstructions. There shall be no parking in snow storage areas.

5.2.2 Roof forms are to be designed in coordination with the pedestrian areas at the base of buildings. Snow falling from roofs shall be directed to landscape areas at the base of the buildings. Snow will not be permitted to shed freely into active pedestrian areas.

5.3 Planting and Tree Preservation

5.3.1 The planted landscape shall incorporate trees and shrubs to revegetate disturbed areas, to buffer or frame views, to allow summertime shading of outdoor places, to allow transition in scale and to soften building massing, and to introduce variety into outdoor use areas.

5.3.2 Measures shall be implemented to minimize impacts upon adjacent areas of undisturbed vegetation and to protect nearby trees. These measures shall include installation of temporary fencing at the limits of clearing.

5.3.3 Plant materials in general will emphasize the use of native plants and appropriate compatible plant materials with low water requirements as recommended in the Town's Municipal Code and Design Guidelines. The selection of plant material shall be based upon the type of plant material removed and that of the material adjacent and within the areas to be revegetated. Plant material shall be a combination of conifers, deciduous trees and shrubs planted in informal masses rather than uniformly spaced. Lawn areas are discouraged, but may be used for small outdoor areas that support resident and guest activities.

5.3.4 Irrigation will be installed in all landscape areas only as required for initial establishment and maintenance. Drip irrigation shall be used where possible. Irrigation overspray and runoff shall be minimized by the use of low flow nozzles in spray appliances.

5.3.5 All plant materials shall be maintained until established. During the establishment period all dead and dying plants shall be replaced as soon as practical. Selective weed removal shall also be included during the plant establishment period, especially for the removal of invasive, non-native plant species.

5.3.6 Irrigation systems shall be maintained throughout the plant establishment period. Once plant materials are well established and self-sustaining, irrigation systems shall be phased out where possible.

5.3.7 All construction shall maximize tree preservation to the extent practical. The design and siting of single-family residences and driveways shall prioritize tree preservation as shown on the Plot Plans for each single-family home attached collectively as Exhibit C. The buildable areas shown on the Plot Plans shall not be expanded or modified if the expansion or modification would result in the removal of additional trees.

5.4 Walls and Fences

5.4.1 Walls and fences shall be consistent with traditional and appropriate design for the region, and will address current needs, codes, regulations and environmental considerations.

5.4.2 Landscape walls shall complement and extend the character of adjacent building bases, and the adjacent natural forms.

5.4.3 Retaining walls may have a core of reinforced poured concrete or masonry blocks, but the surfaces shall not be exposed except in areas with little or no visibility from public areas. Walls shall be finished with stone, architecturally finished concrete or cultured stone veneer. “Keystone” type wall systems are also acceptable.

5.4.4 Fencing materials shall consist of cedar, redwood, natural rock or logs. Stain and colors shall be consistent with the building architecture.

5.5 Setbacks

5.5.1 Minimum building setback of 5 feet from edge of adjacent driveway surfaces.

6. Exhibits

Exhibit A – Vicinity Map

Exhibit B – Site Plans:

B-1 Single-Family Lots

B-2 Duplex Townhomes

Exhibit C – Single-Family Plot Plans

Exhibit D – CEQA Documents

D-1 Mitigation Measures & Mitigated Negative Declaration with Addendum

D-2 Addendum II-Storied Places/Altis Project Initial Study/Mitigated Negative Declaration

D-3 Addendum II-Storied Places/Altis Project Initial Study/Mitigated Negative Declaration
Mitigation Monitoring and Reporting Program

Exhibit A – Vicinity Map

EXHIBIT A
Vicinity Map

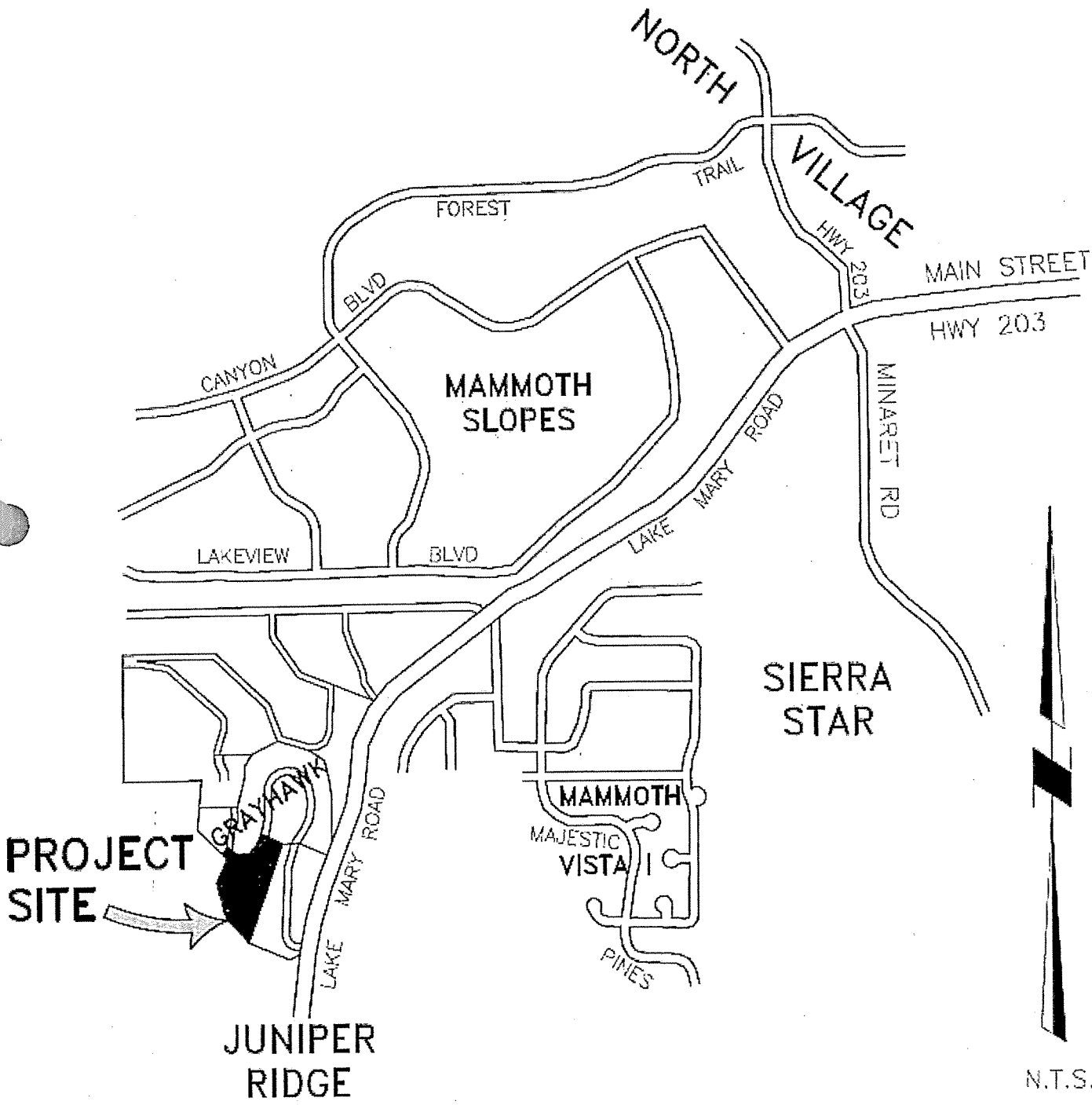


Exhibit B – Site Plans

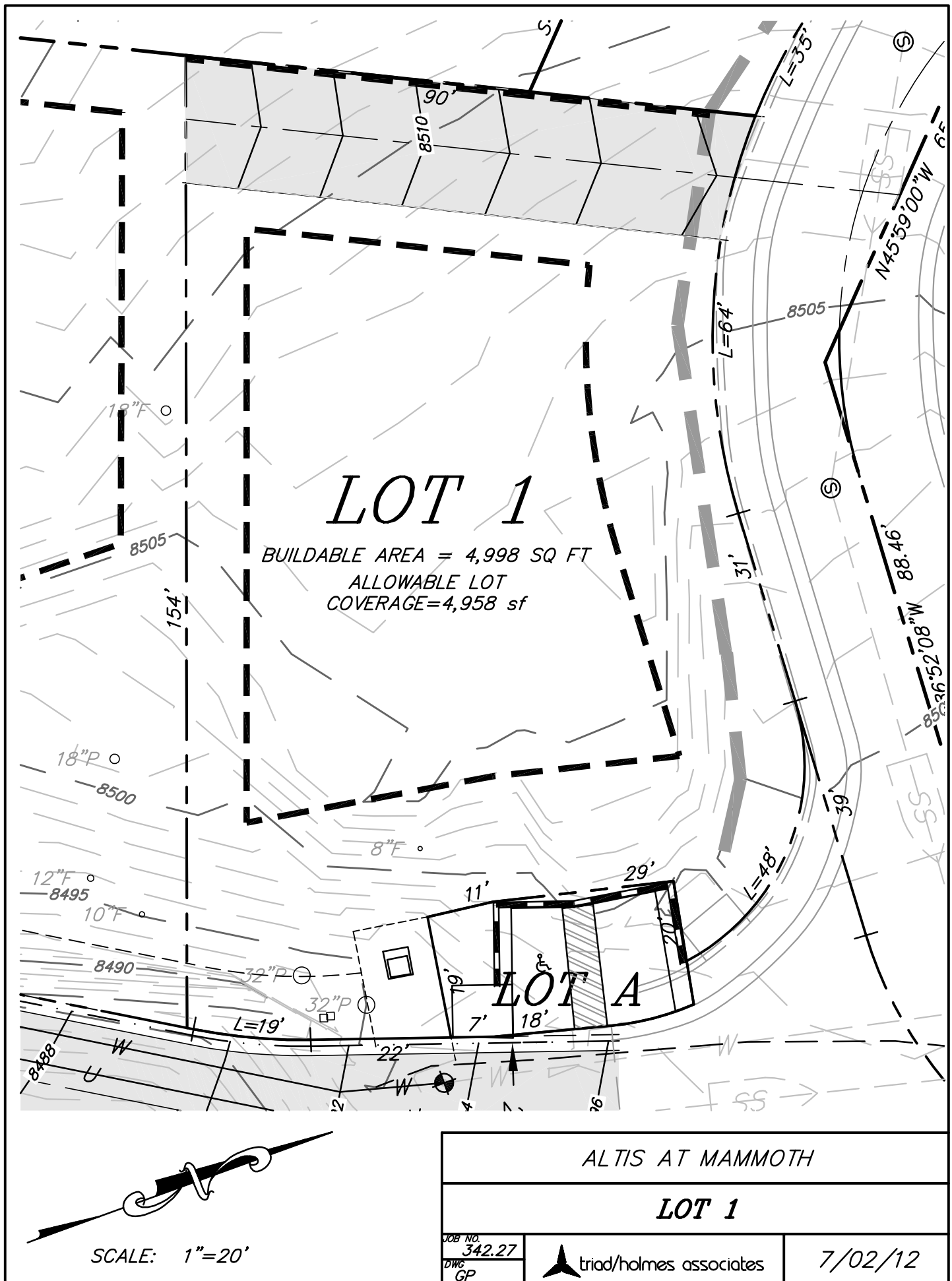
B-1 Single-Family Lots



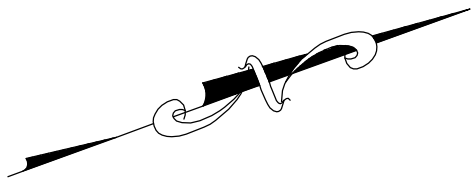
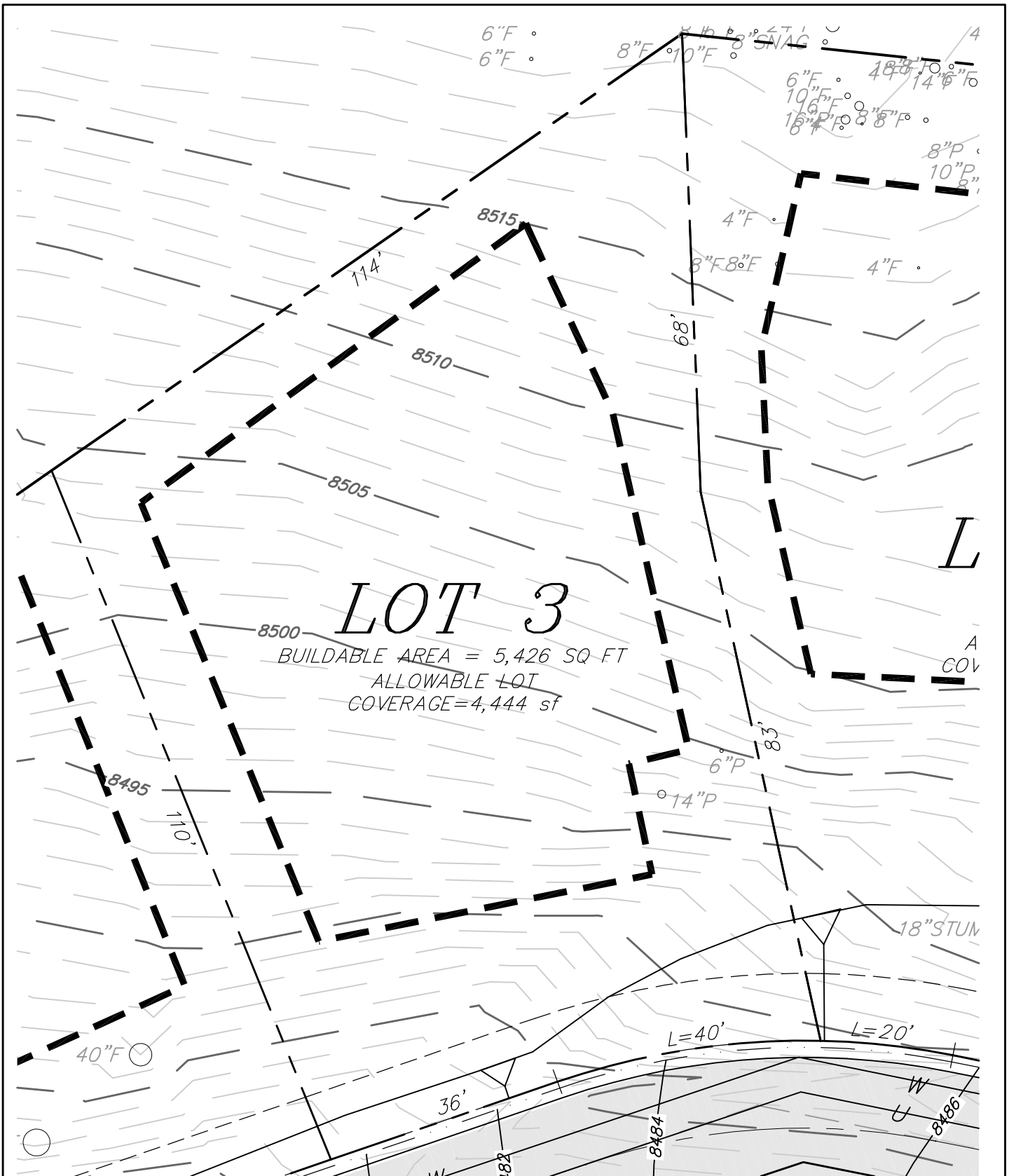
B-2 Duplex Townhomes



Exhibit C – Single-Family Plot Plans

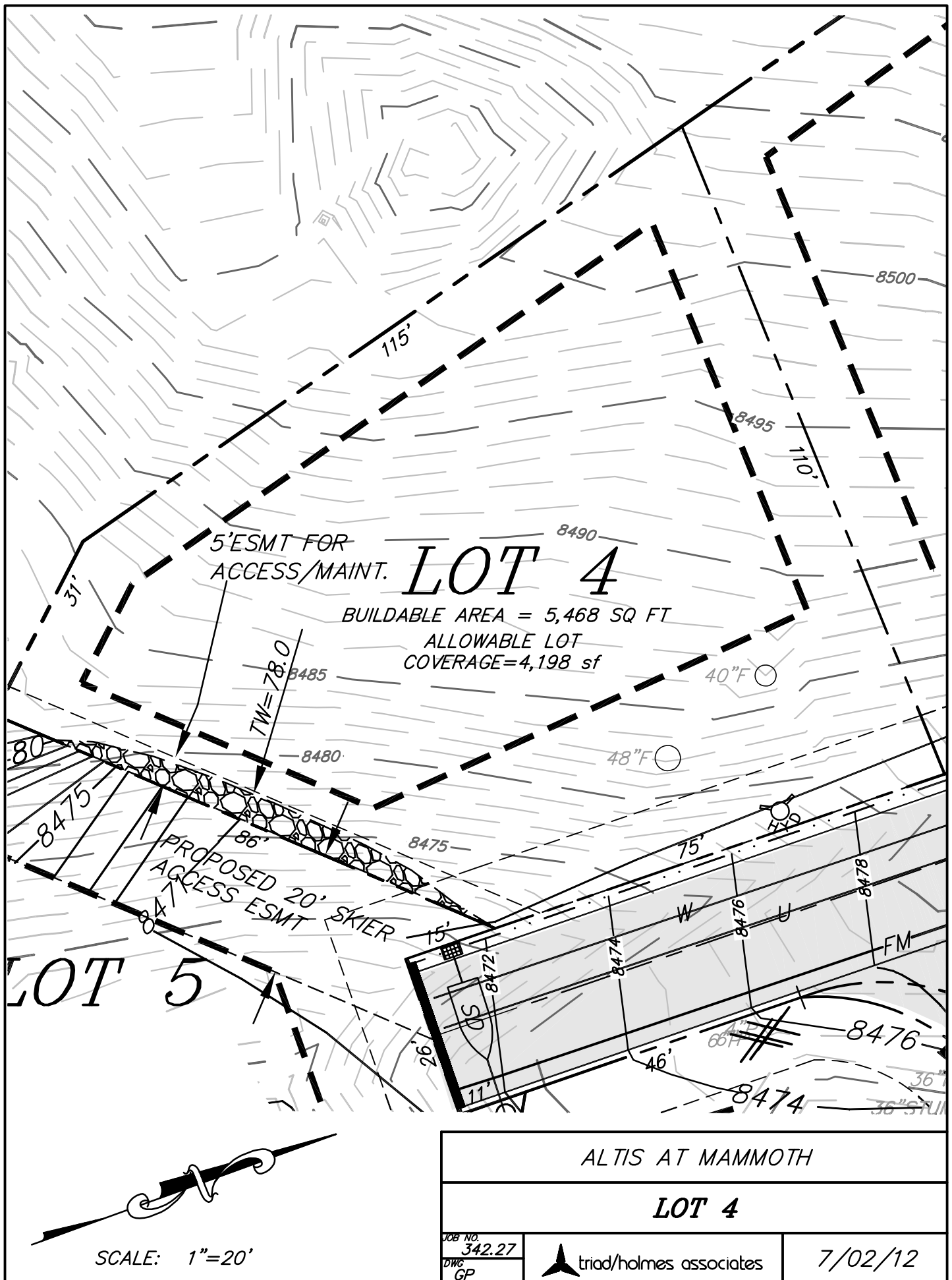


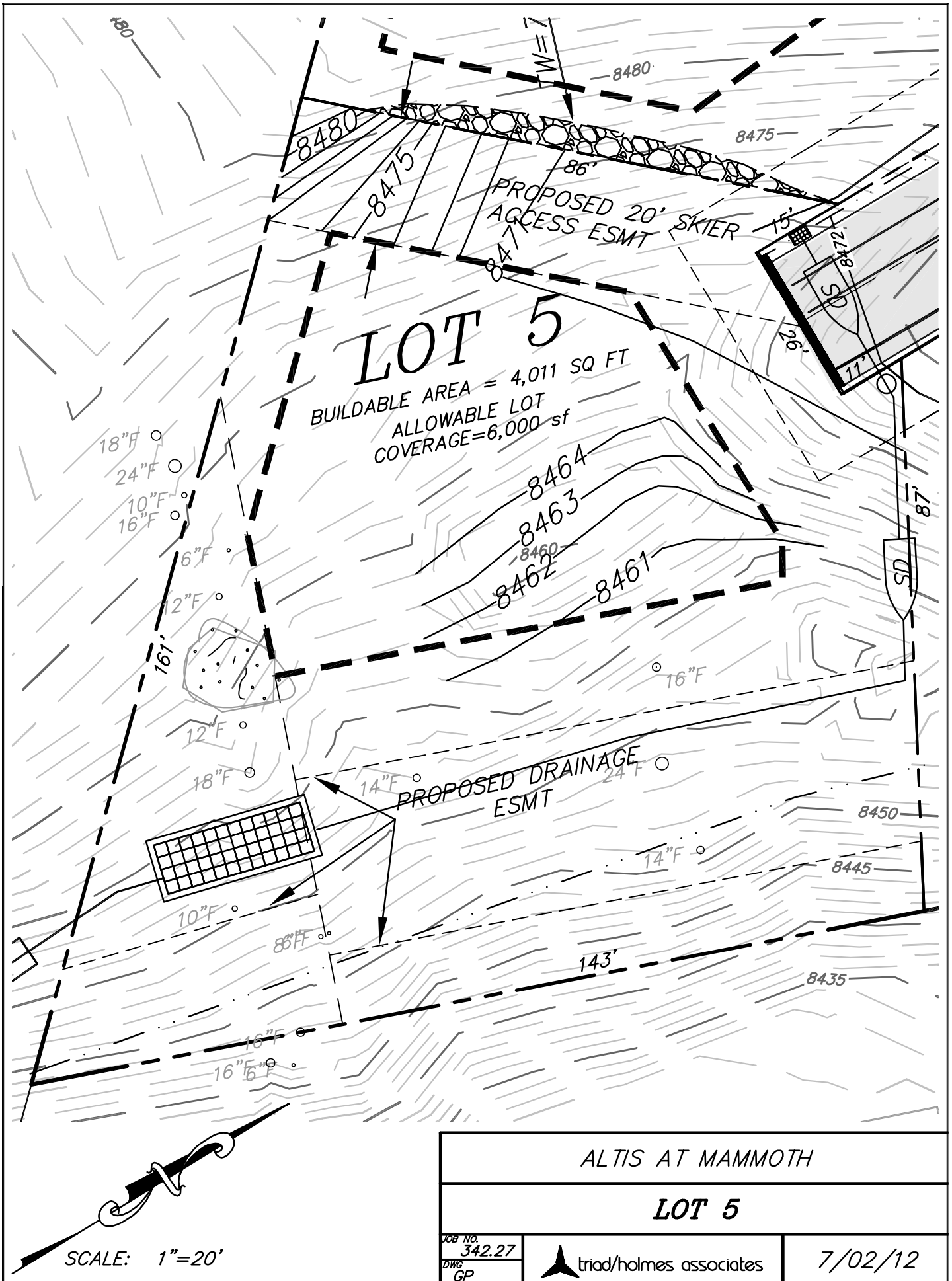


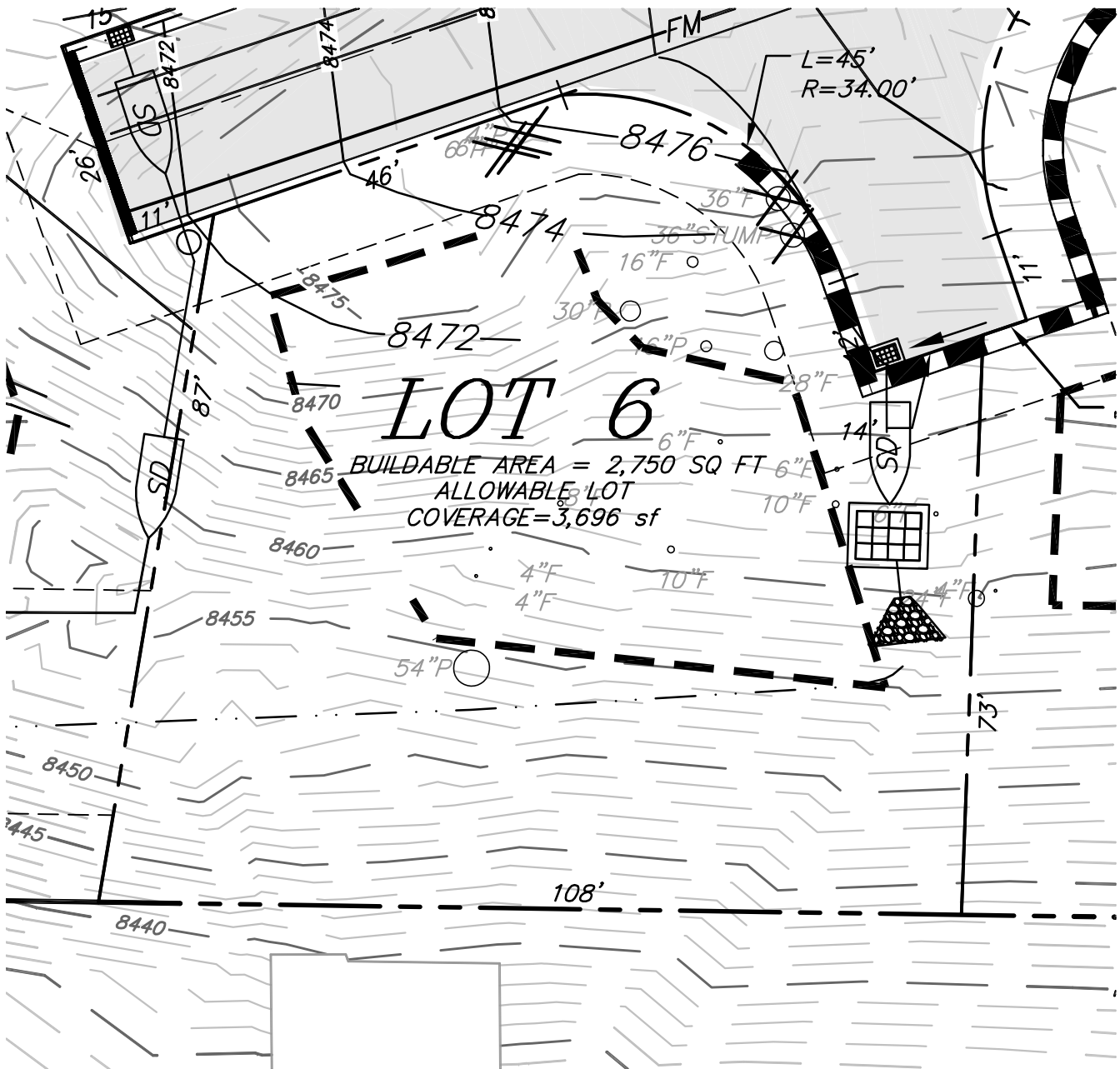


SCALE: 1"=20'

ALTIS AT MAMMOTH		
LOT 3		
JOB NO. 342.27	 triad/holmes associates	7/02/12
DWG GP		







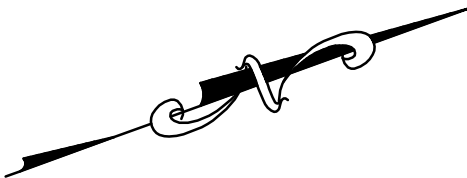
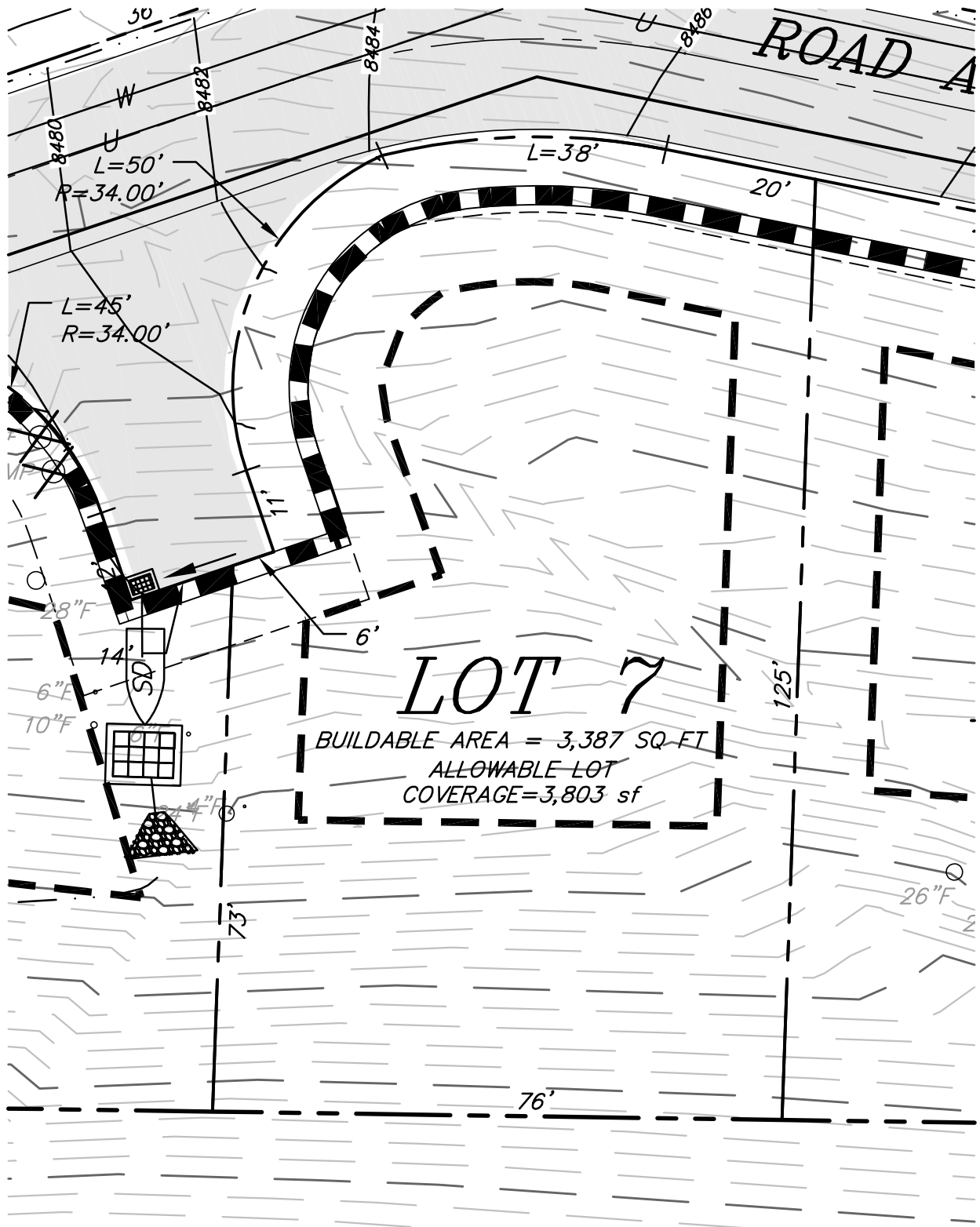
LOT 6

BUILDABLE AREA = 2,750 SQ FT
ALLOWABLE LOT COVERAGE = 3,696 sf



SCALE: 1"=20'

ALTIS AT MAMMOTH		
LOT 6		
JOB NO. 342.27	triad/holmes associates	7/02/12
DWG GP		



SCALE: 1"=20'

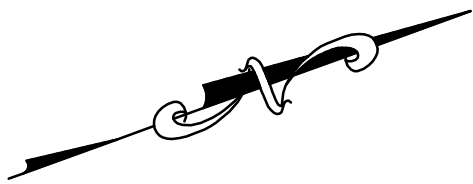
ALTIS AT MAMMOTH

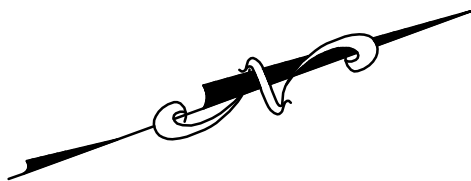
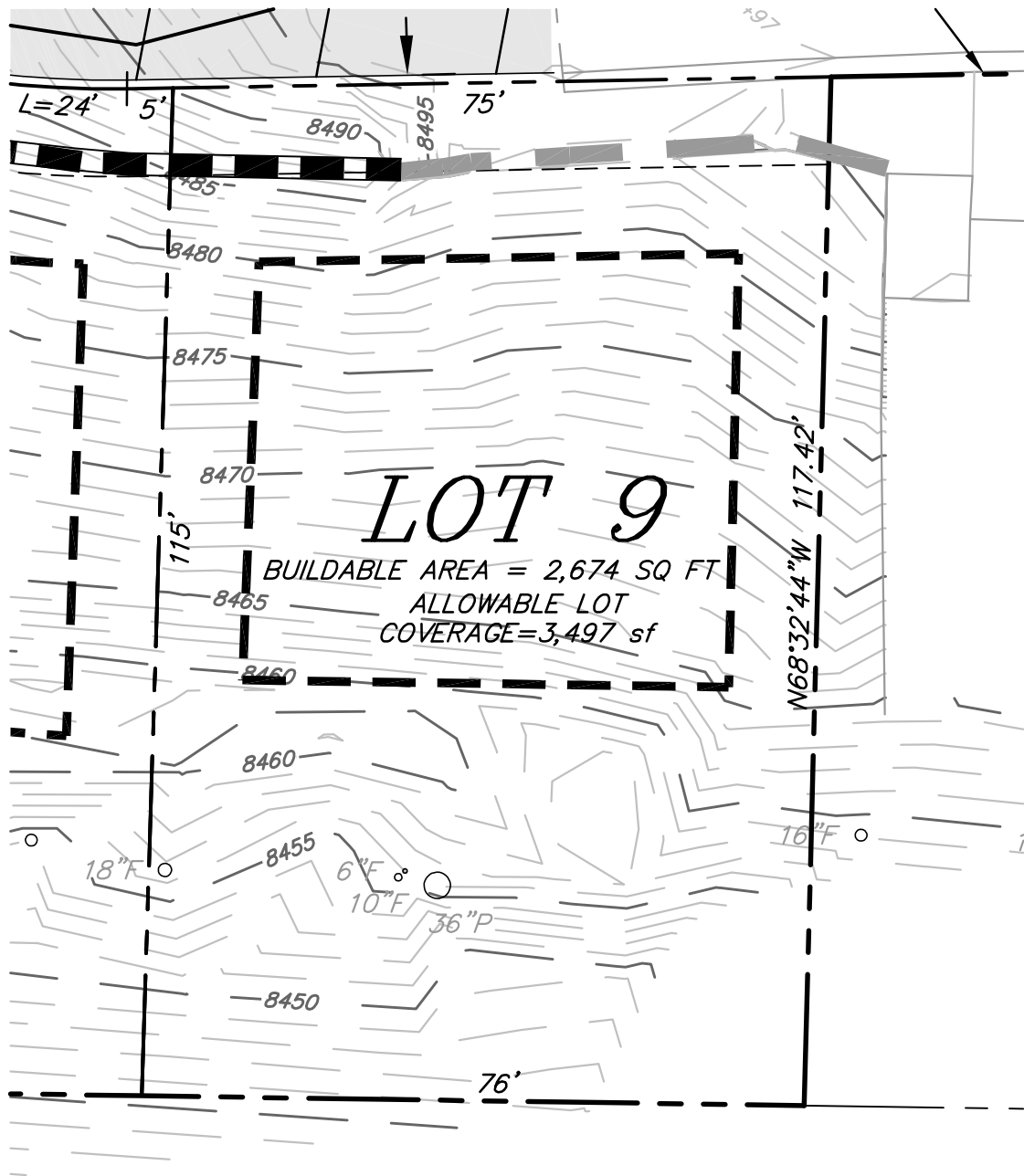
LOT 7

JOB NO.
342.27
DWG
GP

triad/holmes associates

7/02/12





SCALE: 1"=20'

ALTIS AT MAMMOTH

LOT 9

JOB NO.
342.27
DWG
GP

triad/holmes associates

7/02/12

Exhibit D – CEQA Documents

SUMMARY OF MITIGATION MEASURES

I. AESTHETICS

- A1. Tinted glass shall be required on east facing windows to reduce light transmittance from interior lighting.

III. AIR QUALITY

- A1. A comprehensive erosion and sediment control plan, including watering for fugitive dust control, will be required in conjunction with site development and shall be shown on project grading plans. The Town shall require and monitor dust control measures during site grading operations. Methods to control airborne dust, erosion, and sediment transport shall be required as part of a grading permit application to the Town.
- A2. Disturbed areas shall be re-vegetated to provide permanent soil stabilization.
- A3. Each unit in the project is limited to the installation of a single EPA Phase II stove or gas heating appliance.
- B1. Road dust will be controlled by street sweeper maintenance. A monetary contribution to a system for removal of particulate matter utilized on Town roads for traction control shall be made as part of the Town's Development Impact Fees.
- B2. The project must conform to the requirements of the Air Quality Management Plan and the Particulate Emissions Regulations of the Town Municipal Code.

IV. BIOLOGICAL RESOURCES

- A1. Identify on a plan all dead standing and downed trees greater than 30" dbh that will be removed for construction, including areas of building footprints as shown on the master plan. These trees to be removed shall be approved by staff prior to approval of this application.
- A2. All downed 30" dbh trees affected by roadway or home construction shall be shown on a plan that relocates all such trees to areas not affected by new development. This shall be shown on a plan to be approved by staff prior to approval of grading and/or building permits.
- A3. Windfalls and other coarse woody debris removed from building sites on the project area shall be redistributed onto adjacent, undeveloped natural areas to enhance structural diversity and promote continued wildlife use of forested habitats. This shall be included on plans prior to issuance of grading and/or building permits.
- A4. The CC&R's for this project shall prohibit any removal of trees unless they constitute a hazard to adjacent structures.
- D1. Construction areas shall be clearly delineated to minimize impact. Fencing shall be erected no farther than 5 feet from the top of fills and toe of slopes and all areas of construction. The intent of such fencing is to be a rigid physical barrier that prohibits construction vehicles from crossing, and shall be delineated on plans and approved by staff prior to issuance of a grading permit. All fencing shall be installed and approved by staff prior to any grading activity on-site. No ground disturbance shall be permitted outside of these areas.

- D2. Access to work areas shall utilize existing dirt roads or primary access routes within the project area to the maximum extent feasible to avoid unnecessary disturbance to native vegetation outside the project area limits.
- D3. Vegetation removal shall be limited to only those areas identified on the approved plan. This language shall be placed in the CC&R's for the project.
- D4. Revegetation of disturbed areas shall be conducted immediately following construction.
- D5. The spread of weeds shall be deterred by covering stockpiled topsoil and revegetating disturbed sites as soon as possible.
- D6. Dogs shall be prohibited in the project area during construction.
- D7. Construction activities shall occur during daytime hours only. Noise levels shall be kept to a minimum by muffling equipment such as engines and generators.
- D8. Open ditches and trenches shall be covered during nighttime hours each day.
- D9. Refueling and repair of equipment shall be confined to disturbed areas.
- D10. Preservation of valuable habitat features such as trees, downed logs, snags, and rock piles shall be preserved to the maximum extent feasible and shall be accomplished as outlined in mitigation measures outlined in number 3 above.
- D11. No permanent solid fences, which could be a barrier to wildlife movement, shall be constructed on the subject property. This language shall be placed in the CC&R's for the project.
- D12. Management of open space areas shall be specified in the CC&R's, including restrictions on tree removal and disposal of hazardous materials.
- D13. Town leash laws shall be reiterated in the project CC&R's.
- D14. Reduced speed limits of 10 miles per hour shall be imposed along all roads within and leading to and from the development to reduce the risk of wildlife-vehicle collisions.

V. CULTURAL RESOURCES

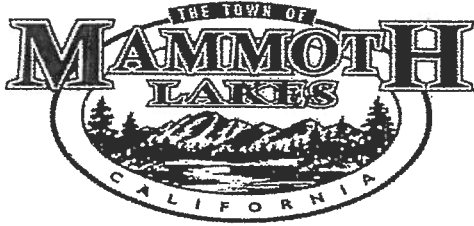
- D1. Should evidence of potentially significant cultural resources be discovered during grading and/or construction of the project, a mitigation plan shall be developed and completed prior to further construction or earth disturbance.
- D2. The Professional Guide for the Preservation of Native American Remains and Associated Grave Goods shall be utilized to protect Native American burial sites should they be discovered.

VI. GEOLOGY AND SOILS

- A1. All new construction is to be built in accordance with the requirements of the Uniform Building Code for Seismic Zone IV.
- A2. The General Plan EIR evaluated geology and soils impacts and determined that there would be a significant unavoidable impact. A Statement of Overriding Considerations was adopted for development within the Town of Mammoth Lakes.
- B1. The project is subject to Best Management Practices (BMP's) as determined through the CRWQCB through issuance of a Stormwater Pollution Prevention Plan (SWPPP).
- C1. All areas that require landscaping shall be revegetated with native vegetation.

XIII. PUBLIC SERVICES

- A1. Both Bridges Lane and access roadways will be required to have a minimum paved surface at least as wide as the roads leading to them or 24 feet, whichever is less, capable of supporting imposed emergency vehicle weights (60,000 pounds). These road widths are required to be maintained at all times for emergency vehicle access.
- A2. Parking shall not extend into minimum clear widths of the road.
- A3. Vegetation management plans shall be developed with these requirements in mind for future plant growth.
- A4. "No Parking" signs shall be used to guarantee width maintenance requirements. Widths may need to be increased in driving areas adjacent to fire hydrants to allow for clear access.
- A5. Maximum allowable road grade is 10%.



COMMUNITY DEVELOPMENT DEPARTMENT
P.O. Box 1609, Mammoth Lakes, CA 93546
(760) 934-8989, ext. 251 FAX (760) 934-8608
e-mail: dhickson@ci.mammoth-lakes.ca.us

INITIAL STUDY

This form and the descriptive information supplied by the applicant constitute the Initial Study (IS) to evaluate potential environmental impacts the project may pose pursuant to Section 15063 of the California Environmental Quality Act (CEQA) Guidelines.

1. Project Title: Tentative Tract Map 36-231, Use Permit 2005-03, "Storied Places"
2. Lead Agency Name and Address: Town of Mammoth Lakes, P.O. Box 1609, Mammoth Lakes CA 93546
3. Contact Person and Phone Number: David S. Hickson, Associate Planner, (760) 934-8989 x 251
4. Project Location: 880 Bridges Lane
5. Project Sponsor's Name and Address: Intrawest California Holdings, Inc.
6. General Plan Designation and Zoning: Resort
7. Description of the Project: (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary)

Development of 22 fractional use (timeshare) condominium residential units and amenity building with caretaker's unit, together with new parking and landscape improvements. The 3.2 acre site will be accessed from Bridges Lane, currently providing access to the existing Bridges Condominium project and the Greyhawk single-family subdivision.

The application also requests approval of specific on-site development standards in a Master Plan document. In particular, the Master Plan requests increases in height above the 35-foot standard in the Municipal Code for the Town of Mammoth Lakes, and a reduction in yard setback between the project site and the adjacent ski run on U.S. Forest Service (USFS) lands from 20 to 5 feet.

8. Surrounding Land Uses and Setting: (Briefly describe the project's surroundings)
Immediately to the east of the project area is the Bridges Condominiums; to the north is the Greyhawk Subdivision. Lands to the immediate east and south are USFS lands of Mammoth Mountain Ski Area (MMSA).
9. Other public agencies whose approval is required: (e.g. permits, financing approval, or participation agreement)

United States Forest Service (USFS)
California Regional Water Quality Control Board, Lahontan Region (CRWQCB)
Mammoth Community Water District (MCWD)
Mammoth Lakes Fire Protection District (MLFPD)
California Department of Forestry (CDF)
Department of Fish and Game (DFG)
Great Basin Unified Air Pollution Control District (GBUAPCD)

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

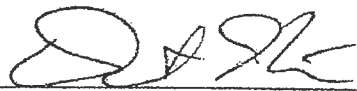
The environmental factors checked below (☐) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

☐	Aesthetics	☐	Hazards & Hazardous Materials	☐	Public Services
☐	Agricultural Resources	☐	Hydrology/Water Quality	☐	Recreation
☐	Air Quality	☐	Land Use/Planning	☐	Transportation/Traffic
☐	Biological Resources	☐	Mineral Resources	☐	Utilities/Service Systems
☐	Cultural Resources	☐	Noise	☐	Mandatory Findings of Significance
☐	Geology/Soils	☐	Population/Housing	☐	

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation:

I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.	☐
I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.	☒
I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.	☐
I find that the proposed project MAY have a "potential significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.	☐
I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.	☐


Signature

5-16-05
Date

David S. Hickson, Associate Planner
Printed Name

Town of Mammoth Lakes

EVALUATION OF ENVIRONMENTAL IMPACTS

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Potentially Significant Unless Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section 17, “Earlier Analysis,” may be cross-referenced).
- 5) Earlier analysis may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c) (3) (d). In this case, a brief discussion should identify the following:
 - (a) Earlier Analysis Used. Identify and state where they are available for review.
 - (b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - (c) Mitigation Measures. For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigation measures, which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g. general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project’s environmental effects in whatever format is selected.
- 9) The analysis of each issue should identify: (a) the significance criteria or threshold used to evaluate each question; and (b) the mitigation measure identified, if any, to reduce the impact to less than significance.

Mitigation Measure Summary

1. A comprehensive erosion and sediment control plan, including watering for fugitive dust control, will be required in conjunction with site development and shall be shown on project grading plans. The Town shall require and monitor dust control measures during site grading operations. Methods to control airborne dust, erosion, and sediment transport shall be required as part of a grading permit application to the Town.
2. Disturbed areas shall be re-vegetated to provide permanent soil stabilization.
3. Each unit in the project is limited to the installation of a single EPA Phase II stove or gas heating appliance.
4. Tinted glass shall be required on east facing windows to reduce light transmittance from interior lighting.
5. Road dust will be controlled by street sweeper maintenance. A monetary contribution to a system for removal of particulate matter utilized on Town roads for traction control shall be made.
6. The project must conform to the requirements of the Air Quality Management Plan and the Particulate Emissions Regulations of the Town Municipal Code.
7. Identify on a plan all dead standing and downed trees greater than 30" dbh that will be removed for construction, including areas of building footprints as shown on the master plan. These trees to be removed shall be approved by staff prior to approval of this application.
8. In addition, all downed 30" dbh trees affected by roadway or home construction shall be shown on a plan that relocates all such trees to areas not affected by new development. This shall be shown on a plan to be approved by staff prior to approval of grading and/or building permits.
9. Windfalls and other coarse woody debris removed from building sites on the project area shall be redistributed onto adjacent, undeveloped natural areas to enhance structural diversity and promote continued wildlife use of forested habitats. This shall be included on plans prior to issuance of grading and/or building permits.
10. The CC&R's for this project shall prohibit any removal of trees unless they constitute a hazard to adjacent structures.
11. Construction areas shall be clearly delineated to minimize impact. Fencing shall be erected no farther than 5 feet from the top of fills and toe of slopes and all areas of construction. The intent of such fencing is to be a rigid physical barrier that prohibits construction vehicles from crossing, and shall be approved by staff prior to issuance of a grading permit. No ground disturbance shall be permitted outside these areas. This language shall be placed in the CC&R's for the project.
12. Access to work areas shall utilize existing dirt roads or primary access routes within the project area to the maximum extent feasible to avoid unnecessary disturbance to native vegetation outside the project area limits.
13. Vegetation removal shall be limited to only those areas identified on the approved plan. This language shall be placed in the CC&R's for the project.
14. Revegetation of disturbed areas shall be conducted immediately following construction.
15. The spread of weeds shall be deterred by covering stockpiled topsoil and revegetating disturbed sites as soon as possible.
16. No permanent solid fences, which could be a barrier to wildlife movement, shall be constructed on the subject property. This language shall be placed in the CC&R's for the project.
17. Management of open space areas shall be specified in the CC&R's, including restrictions on tree removal and disposal of hazardous materials.
18. Dogs shall be prohibited in the project area during construction.
19. Town leash laws shall be reiterated in the project CC&R's.
20. Construction activities shall be scheduled during daytime hours only. Noise levels shall be kept to a minimum by muffling equipment such as engines and generators.
21. Open ditches and trenches shall be covered during nighttime hours.
22. Refueling and repair of equipment shall be confined to disturbed areas.
23. Reduced speed limits of 10 miles per hour shall be imposed along all roads within and leading to and from the development to reduce the risk of wildlife-vehicle collisions.
24. Preservation of valuable habitat features such as trees, downed logs, snags, and rock piles shall be preserved to the maximum extent feasible and shall be accomplished as outlined in mitigation measures outlined above.
25. All new construction is built in accordance with the requirements of the Uniform Building Code for Seismic Zone IV.
26. The General Plan EIR evaluated geology and soils impacts and determined that there would be a significant unavoidable impact. A Statement of Overriding Considerations was adopted for development within the Town of Mammoth Lakes.
27. All areas shall be revegetated with native vegetation.
28. The project is subject to Best Management Practices (BMP's) as determined through the CRWQCB through issuance of a Stormwater Pollution Prevention Plan (SWPPP).
29. Both Bridges Lane and access roadways will be required to have a minimum paved surface of 20 feet wide, capable of supporting imposed emergency vehicle weights with a minimum clear height of 13' 6".
30. Parking shall not extend into minimum clear widths of the road.
31. Vegetation management plans shall be developed with these requirements in mind for future plant growth.
32. "No Parking" signs shall be used to guarantee width maintenance requirements. Widths may need to be increased in driving areas adjacent to fire hydrants to allow for clear access.
33. Minimum access road widths will be required to be maintained in the area of the roadway island proposed.
34. Maximum allowable road grade is 10%.

ISSUES AND SUPPORTING INFORMATION

Please provide an explanation of the choice of impact below each item. Delete this row or leave blank if no explanation is required.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
I. AESTHETICS -- Would the project:				
a) Have a substantial adverse effect on a scenic vista?	☐	☐	☒	☐
The applicant has submitted visual studies showing the relative impact of development on this steep property. The visual study is available at the Town offices, 437 Old Mammoth Road, for review. The property lies within a significant community view shed. Determining the impact of development relative to this scenic view shed must be against all applicable policies of the General Plan and in the context of the surrounding environment. Immediately to the west of the site lie "The Bridges" condominiums. To the immediate east lie the Greyhawk subdivision, "Timber Ridge" condominiums, "Mammoth Point" condominiums, and single-family residences. Building heights will be a maximum of 45 feet (amenity building), with the majority of structures being between 30 and 39 feet. The maximum discrepancy between the typical 35 foot standard and proposed buildings is 10 feet. Considering the Bridges Condominiums below the project site, the maximum height of building faces visible above these buildings is no more than 20 feet. Development within this view shed must be considerate of existing development. The Bridges Condominiums consists of a long expanse of buildings and walls. Although the project will establish new development at an elevation higher than the Bridges, the vertical height and overall extent of development seen from the community will be much less than the substantial building faces visible in the Bridges project. The proposed buildings consist of east elevations (visible above the existing Bridges Condominiums) consisting of almost entirely glass. An assessment of nighttime glare impacts has been performed. The project site will emit interior lighting that will be visible to the community. Existing sources of lighting at the adjacent Bridges and Timber Ridge Condominiums produce ambient light levels that are no more significant than the amount of lighting produced by the project. However, because the project includes structures with east facing aspects comprised of almost entirely glass, tinted windows should be installed to reduce the amount of interior lighting produced. Cumulative light impacts resulting from existing, together with the proposed development are insignificant when including tinted glass to reduce interior lighting effects.				
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	☐	☐	☒	☐
Given the project's distance from Highway 395, and existing development's presence within the viewshed from this Scenic Highway, it does not change the view significance from the highway corridor.				
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	☐	☐	☒	☐
See comment under a) above.				
d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?	☐	☐	☒	☐
See comment under a) above.				

II. AGRICULTURE RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps	☐	☐	☐	☒
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	☐	☐	☐	☒
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	☐	☐	☐	☒

Development of the site would be determined to not have a significant impact on agricultural or farmland resources pursuant to the LESA model prepared by the California Dept. of Conservation.

III. AIR QUALITY -- Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

a) Conflict with or obstruct implementation of the applicable air quality plan?	☐	☒	☐	☐
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Increased particulate matter (PM 10) from wood burning appliances and road dust in Mammoth Lakes exceeds State of California and federal thresholds. To address this, the Town has adopted an Air Quality Management Plan (AQMP) and Particulate Emissions regulations. The following measures shall be implemented:

1. A comprehensive erosion and sediment control plan, including watering for fugitive dust control, will be required in conjunction with site development and shall be shown on project grading plans. The Town shall require and monitor dust control measures during site grading operations. Methods to control airborne dust, erosion, and sediment transport shall be required as part of a grading permit application to the Town.
2. Disturbed areas shall be re-vegetated to provide permanent soil stabilization.
3. Each unit in the project is limited to the installation of a single EPA Phase II stove or gas heating appliance.

b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	☐	☒	☐	☐
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In consideration of the non-attainment designation assigned to Mammoth Lakes, the following mitigation measures are required for the project to comply with the adopted AQMP:

1. Road dust will be controlled by street sweeper maintenance. A monetary contribution to a system for removal of particulate matter utilized on Town roads for traction control shall be made.
2. The project must conform to the requirements of the Air Quality Management Plan and the Particulate Emissions Regulations of the Town Municipal Code.

c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions that exceed quantitative thresholds for ozone precursors)?	☐	☐	☒	☐
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Mitigation measures summarized in a) and b) above will minimize the level of impact generated by the project since said measures are implemented in compliance with the AQMP and particulate regulations of the Town for the purpose of addressing the non-attainment status assigned to the Town of Mammoth Lakes.

d) Expose sensitive receptors to substantial pollutant concentrations?	☐	☐	☒	☐
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
Mitigation measures summarized in a) and b) above will minimize the level of impact generated by the project since said measures are implemented in compliance with the AQMP and particulate regulations of the Town for the purpose of addressing the non-attainment status assigned to the Town of Mammoth Lakes.				
e) Create objectionable odors affecting a substantial number of people?	☐	☐	☒	☐

Mitigation measures summarized in a) and b) above will minimize the level of impact generated by the project since said measures are implemented in compliance with the AQMP and particulate regulations of the Town for the purpose of addressing the non-attainment status assigned to the Town of Mammoth Lakes.

IV. BIOLOGICAL RESOURCES -- Would the project:

a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	☐	☒	☐	☐
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A botanical and wildlife survey has been prepared for this project and is available at the Town offices, 437 Old Mammoth Road, for review. The site is a marginally suitable habitat for the Lodgepole Chipmunk, a California special-status species. This species relies on habitat that provides large downed or standing dead trees for nesting areas. With the construction of the project, there will be a reduction in the amount of suitable habitat. As mitigation for this loss, the applicant shall:

1. Identify on a plan all dead standing and downed trees greater than 30" dbh that will be removed for construction, including areas of building footprints as shown on the master plan. These trees to be removed shall be approved by staff prior to approval of this application.
2. In addition, all downed 30" dbh trees affected by roadway or home construction shall be shown on a plan that relocates all such trees to areas not affected by new development. This shall be shown on a plan to be approved by staff prior to approval of grading and/or building permits.
3. Windfalls and other coarse woody debris removed from building sites on the project area shall be redistributed onto adjacent, undeveloped natural areas to enhance structural diversity and promote continued wildlife use of forested habitats. This shall be included on plans prior to issuance of grading and/or building permits.
4. The CC&R's for this project shall prohibit any removal of trees unless they constitute a hazard to adjacent structures.

b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	☐	☐	☐	☒
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There is no riparian habitat on the subject property.

c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	☐	☐	☐	☒
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See comment under b) above.

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	☐	☒	☐	☐
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
A wildlife resources report has been conducted for the site and is available at the Town offices. The impacts outlined in the report consist of the alteration of conifer forest and resulting in decreased availability of forage and cover. The alteration of this forest due to human intrusion and construction alters the movements of animals, including mule deer, which have been documented on this property. However, this species is a wide-ranging species, and the site is small and is not a migration corridor. Wildlife habitat will also be removed due to the project. The following mitigation measures shall apply:				
1. Construction areas shall be clearly delineated to minimize impact. Fencing shall be erected no farther than 5 feet from the top of fills and toe of slopes and all areas of construction. The intent of such fencing is to be a rigid physical barrier that prohibits construction vehicles from crossing, and shall be approved by staff prior to issuance of a grading permit. No ground disturbance shall be permitted outside these areas. This language shall be placed in the CC&R's for the project.				
2. Access to work areas shall utilize existing dirt roads or primary access routes within the project area to the maximum extent feasible to avoid unnecessary disturbance to native vegetation outside the project area limits.				
3. Vegetation removal shall be limited to only those areas identified on the approved plan. This language shall be placed in the CC&R's for the project.				
4. Revegetation of disturbed areas shall be conducted immediately following construction.				
5. The spread of weeds shall be deterred by covering stockpiled topsoil and revegetating disturbed sites as soon as possible.				
6. No permanent solid fences, which could be a barrier to wildlife movement, shall be constructed on the subject property. This language shall be placed in the CC&R's for the project.				
7. Management of open space areas shall be specified in the CC&R's, including restrictions on tree removal and disposal of hazardous materials.				
8. Dogs shall be prohibited in the project area during construction.				
9. Town leash laws shall be reiterated in the project CC&R's.				
10. Construction activities shall be scheduled during daytime hours only. Noise levels shall be kept to a minimum by muffling equipment such as engines and generators.				
11. Open ditches and trenches shall be covered during nighttime hours.				
12. Refueling and repair of equipment shall be confined to disturbed areas.				
13. Reduced speed limits of 10 miles per hour shall be imposed along all roads within and leading to and from the development to reduce the risk of wildlife-vehicle collisions.				
14. Preservation of valuable habitat features such as trees, downed logs, snags, and rock piles shall be preserved to the maximum extent feasible and shall be accomplished as outlined in mitigation measures outlined in number 3 above.				
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	☐	☐	☒	☐
The project concept minimizes tree removal and grading in the effort of integrating the development into the forest character of the site to the maximum extent feasible. The mitigation measures outlined in d) above are consistent and more restrictive than the existing tree preservation ordinance of the Town of Mammoth Lakes.				
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	☐	☐	☐	☒
There are no adopted plans for the Mammoth Lakes area.				
V. CULTURAL RESOURCES -- Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5?	☐	☐	☐	☒
There are no historical resources identified on the subject property. A survey titled "An Archaeological Reconnaissance of Mammoth Mountain, Mono and Madera Counties, California" was conducted in November 1983. The report is available at the Town offices. The report included the project area and did not identify any resources present. If during construction, any resources are discovered, work shall be stopped and a qualified archaeologist shall determine the nature of the find before proceeding.				
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?	☐	☐	☐	☒
There are no historical resources identified on the subject property.				
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	☐	☐	☐	☒
There are no unique paleontological or geologic features of the site.				

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
d) Disturb any human remains, including those interred outside of formal cemeteries?	☐	☐	☐	☒

While no cultural resources have been identified or discovered on the project site, the following mitigation measures shall be implemented in the event of discovery of such resources.

1. Should evidence of potentially significant cultural resources be discovered during grading and/or construction of the project, a mitigation plan shall be developed and completed prior to further construction or earth disturbance, and
2. The Professional Guide for the Preservation of Native American Remains and Associated Grave Goods shall be utilized to protect Native American burial sites should they be discovered.

VI. GEOLOGY AND SOILS -- Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

i) Rupture of a known earthquake fault, as delineated on the most recent Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	☐	☒	☐	☐
ii) Strong seismic ground shaking?	☐	☒	☐	☐
iii) Seismic-related ground failure, including liquefaction?	☐	☐	☒	☐
iv) Landslides?	☐	☐	☒	☐

The property is not located within an Earthquake Hazard Zone as identified on the official maps prepared by the State Geologist. All new construction is built in accordance with the requirements of the Uniform Building Code for Seismic Zone IV. The Town has adopted an emergency response plan to respond to any potential seismic or volcanic hazard. The site has no unique geologic or physical features. Mitigation can be accomplished by safe building design engineered by a California Registered Structural Engineer, using the ground motion parameters that have been calculated for this particular site. This mitigation is accomplished through review of all construction permits in accordance with Town codes.

The General Plan EIR evaluated geology and soils impacts and determined that there would be a significant unavoidable impact. A Statement of Overriding Considerations was adopted for development within the Town of Mammoth Lakes.

b) Result in substantial soil erosion or the loss of topsoil?	☐	☒	☐	☐
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The project site consists of steep slopes where most of the substantial frequent loose pumice soils exist. Sierra Geotechnical Services Inc. has prepared a geotechnical report for the project and determined that soil compaction, which sometimes will require overexcavation, will be required. All areas shall be revegetated with native vegetation. Construction of roadways and retaining walls will result in some erosion unless properly mitigated. The project will be subject to the Best Management Practices (BMP's) as determined by the CRWQCB through the issuance of a Stormwater Pollution Prevention Plan (SWPPP) and will therefore comply with all applicable erosion control standards.

Additionally, the mitigation measures as outlined for revegetation requirements under Item 1 above are implemented to reduce impacts of soil erosion.

c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	☐	☐	☒	☐
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A soils report was prepared for the subject property. The analysis of the report indicates the site is suitable for development under conditions typical in the community. All disturbed areas shall be revegetated with native vegetation.

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	☐	☐	☒	☐

See comment under b) above.

e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	☐	☐	☐	☒
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The project will be served by the Mammoth Community Water District sewer system.

VII. HAZARDS AND HAZARDOUS MATERIALS - Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	☐	☐	☐	☒
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The project consists of the construction of a multi-family residential project. Hazardous substances will not be used except during roadway construction. The Engineering Division shall evaluate all permits and monitor all construction activities to ensure safe use of materials (asphalt) during construction. Hazardous materials will not be used during any other period of time during project construction and after completion.

b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	☐	☐	☐	☒
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This type of project will not generate hazardous material releases into the environment.

c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	☐	☐	☐	☒
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The project is not located within one-quarter mile to any existing school site. There are no planned school sites within one-quarter mile.

d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	☐	☐	☐	☒
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This property has never been developed and therefore is in its original natural state. It does not appear on any hazardous materials site listing.

e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	☐	☐	☐	☒
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The project area is not within an airport land use plan or within two miles of a public airport.

f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	☐	☐	☐	☒
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No private airstrips are present in the vicinity.

g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	☐	☐	☐	☒
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
The project site is provided proper legal access and will not impact any plans adopted for the purposes of emergency response or evacuation.				
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	☐	☐	☒	☐
The project area has some sagebrush vegetation. Therefore, fire risks will be addressed through review of construction of condominium units in the project area.				
VIII. HYDROLOGY AND WATER QUALITY -- Would the project:				
a) Violate any water quality standards or waste discharge requirements?	☐	☒	☐	☐
The CRWQCB will require a Stormwater Pollution Prevention Plan (SWPPP). The project shall comply with the SWPPP prior to issuance of a grading permit for these improvements.				
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	☐	☒	☐	☐
Recently prepared geotechnical reports document the soil characteristics of the site. The study documents that groundwater is located at least 100 feet below ground surface. Development of the site in accordance with recommended mitigation measures will not affect the groundwater table. (Study available at the Town offices). Because of the highly permeable soil, the site easily accommodates groundwater intrusion. While the amount of pervious area on the site is reduced, drainage patterns and the ability of the site to handle increased runoff will not be affected. The Town and CRWQCB will also evaluate this through review of grading plans and the SWPPP.				
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	☐	☒	☐	☐
There are no drainage channels on the site due to the highly permeable soil characteristics. No permanent drainage courses exist on the property. While additional impervious area will increase the intensity and frequency of runoff, the soil characteristics should be able to accommodate runoff without altering the drainage patterns or causing on or off-site erosion or siltation. Further, the Town will require an engineered grading permit, and CRWQCB will evaluate this through review of a SWPPP.				
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	☐	☒	☐	☐
See comments under b) and c) above.				
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	☐	☒	☐	☐
The project can be developed in accordance with Town requirements pursuant to studies performed on the site. The CRWQCB will evaluate the SWPPP and the Town of Mammoth Lakes will evaluate a grading permit to ensure the project meets these requirements.				
f) Otherwise substantially degrade water quality?	☐	☒	☐	☐

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
See comments under e) above.				
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	☐	☐	☐	☒
The site is not located within a 100-year flood plain as designated by FEMA.				
h) Place within a 100-year flood hazard area structures that would impede or redirect flood flows?	☐	☐	☐	☒
See comment under g) above.				
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	☐	☐	☐	☒
No facilities are located in the community that is tributary to the project site.				
j) Inundation by seiche, tsunami, or mudflow?	☐	☐	☒	☐
The community's location does not expose itself to seiche or tsunami potential. The soils report documents that mudflows are unlikely due to soil characteristics and lack of water table near the ground surface.				
IX. LAND USE AND PLANNING - Would the project:				
a) Physically divide an established community?	☐	☐	☐	☒
The site is located adjacent to USFS lands and ski area development. Adjacent developed projects are independent of one another and are not impacted by the development.				
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	☐	☐	☒	☐
The property is unique with regard to the land use designation by the General Plan of Resort that further requires development to adhere to the Conservation and Open Space element. An expanded discussion is in attached documentation analyzing all relevant policies of the General Plan and zoning requirements of the Resort Zone. The findings of this analysis are that with additional mitigation measures, the project's impact is "less than significant".				
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	☐	☐	☐	☒
There is no adopted habitat or natural communities conservation plan for the community.				
X. MINERAL RESOURCES - Would the project:				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	☐	☐	☐	☒
There are no known mineral resources present on the site.				
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	☐	☐	☐	☒
The General Plan does not designate this property as a mineral resource recovery site.				

Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
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XI. NOISE - Would the project result in:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? | ☐ | ☐ | ☐ | ☒ |
| b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? | ☐ | ☐ | ☐ | ☒ |
| c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? | ☐ | ☐ | ☐ | ☒ |
| d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? | ☐ | ☐ | ☐ | ☒ |

The project consists of the construction of infrastructure and roadways and single family dwellings, resulting in temporary increases in noise level for a short duration during project construction. Consistent with Municipal Code standards, construction hours are limited to between 7 am and 8 pm Mondays through Saturdays. Prior approval from the Town is required for work on Sundays and holidays. Adherence to the Town noise standards will reduce adverse noise impacts to a level below significance. No additional mitigation is required.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? | ☐ | ☐ | ☐ | ☒ |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is not located in an airport land use plan area.

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? | ☐ | ☐ | ☐ | ☒ |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is not located within the vicinity of a private airstrip.

XII. POPULATION AND HOUSING - Would the project:

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | ☐ | ☐ | ☒ | ☐ |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Density proposed for the site is consistent with zoning requirements. No new infrastructure is to be extended to the project site, as it is an infill development already programmed for service by utility providers.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? | ☐ | ☐ | ☐ | ☒ |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The site is undeveloped.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? | ☐ | ☐ | ☐ | ☒ |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

See comment under b) above.

XIII. PUBLIC SERVICES

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a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Fire protection?

☐☒☐☐

The following mitigation measures apply to this development for fire protection:

1. Both Bridges Lane and access roadways will be required to have a minimum paved surface of 20 feet wide, capable of supporting imposed emergency vehicle weights with a minimum clear height of 13' 6".
2. Parking shall not extend into minimum clear widths of the road.
3. Vegetation management plans shall be developed with these requirements in mind for future plant growth.
4. "No Parking" signs shall be used to guarantee width maintenance requirements. Widths may need to be increased in driving areas adjacent to fire hydrants to allow for clear access.
5. Minimum access road widths will be required to be maintained in the area of the roadway island proposed.
6. Maximum allowable road grade is 10%.

Police protection?

☐☐☒☐

The addition of low-density residential units will have a negligible impact on the provision of police protection.

Schools?

☐☐☒☐

Each unit constructed will be subject to school mitigation fees at the time of building permit issuance.

Parks?

☐☐☒☐

The addition of 22 homes generates a demand for park facilities that will be mitigated through the dedication of land or payment in-lieu thereof in the equivalent of 5 acres per 1000 population generated.

Other public facilities?

☐☐☒☐

The MCWD will evaluate the provision of water and sewer systems to the project area, and the development will be subject to appropriate fee mitigation to accommodate project needs for these service systems.

XIV. RECREATION -

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

☐☐☒☐

The addition of 24 single-family homes are subject to mitigation as outlined in XIII.a) Parks above.

b) Does the project include recreational facilities or require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment?

☐☐☒☐

See comment under XIII.a) Parks above.

XV. TRANSPORTATION/TRAFFIC -- Would the project:

a) Cause an increase in traffic that is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)?

☐☐☒☐

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
A traffic study has been conducted for the project. The study prepared by LSA Associates (available at the Town offices) assumes a 44-unit lodge development, or twice the proposed density. The findings of the analysis state that the proposed project does not create or contribute to any significant circulation impacts at the study area intersections. Level of Service (LOS) analysis studies indicate the project will not require any additional roadway improvements at the study area intersections. The LOS for Lake Mary Rd./Bridges Lane is A; Lake Mary Rd./Kelly Road is at a LOS of A; Lake Mary Rd./ Lakeview Blvd. has a LOS of C; and Lake Mary Rd. (Main St.)/ Minaret Rd at a LOS of B. No mitigation is required based on these service levels.				
b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways?	☐	☐	☒	☐
See comment under a) above.				
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	☐	☐	☐	☒
The project will have no impact on air traffic patterns.				
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	☐	☐	☒	☐
Circulation improvements have been evaluated by affected agencies and there are no hazardous design features in the project.				
e) Result in inadequate emergency access?	☐	☐	☒	☐
The project access and design meets requirements of the MLFPD and serving agencies.				
f) Result in inadequate parking capacity?	☐	☐	☒	☐
Sufficient on-site parking is provided for the proposed project, as each residence constructed will be required to provide parking in conformance with multi-family requirements. Additional parking turn-outs along the roadway that conform to fire district requirements are also included and ensure adequate parking capacity for the development.				
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?	☐	☐	☒	☐
An existing bus stop at the intersection of Bridges Lane and Lake Mary Road exists that can satisfy transit needs for the project.				
XVI. UTILITIES AND SERVICE SYSTEMS - Would the project:				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	☐	☒	☐	☐
See discussion under item VIII above, which are necessary to achieve the requirements of the CRWQCB.				
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	☐	☐	☒	☐
The project density is consistent with minimum densities specified in the General Plan, and existing facilities are designed to accommodate build-out conditions in the Town of Mammoth Lakes.				
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the	☐	☐	☒	☐

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporation	Less Than Significant Impact	No Impact
construction of which could cause significant environmental effects?				
New storm water drainage facilities are required. Expansion of existing facilities immediately downstream of the site before connection to a main facility in Lake Mary Road may be required. The Lake Mary Roadway facility will be adequately sized to accommodate drainage needs without requiring additional roadway right-of-way area in order to handle any required drainage facilities.				
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	☐	☐	☒	☐
The MCWD has analyzed water supply needs and has determined the project can be served without expanding or constructing new facilities.				
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the projects projected demand in addition to the providers existing commitments?	☐	☐	☒	☐
See comment under b) above.				
f) Be served by a landfill with sufficient permitted capacity to accommodate the projects solid waste disposal needs?	☐	☐	☒	☐
Waste generation levels will be minimal and will not impact landfill capacity.				
g) Comply with federal, state, and local statutes and regulations related to solid waste?	☐	☐	☒	☐
The project complies with all applicable solid waste regulations.				

XVII. MANDATORY FINDINGS OF SIGNIFICANCE --

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	☐	☒	☐	☐
Based on the evaluation of various environmental factors, including aesthetics and consistency with General Plan policies, it is the determination that this project will not substantially degrade the quality of the environment. With mitigation incorporated, the site will preserve wildlife habitat to the maximum extent feasible and will eliminate habitat only in those areas required for roadway and home construction. The project concept aims to develop the site in consideration of vegetation and slope characteristics, retaining as much of its forest quality as possible. All other areas may not be disturbed or vegetation removed, resulting in preservation of the natural landscape and viewshed with minimal alteration to the environment of the site.				
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)	☐	☐	☒	☐

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Incorporation**

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The site is between properties already developed and public utilities and services are already provided to the immediate area. Impacts to the environment in the context of surrounding development are minimal and no cumulative impacts are present with regard to development of the site. Furthermore, the environmental studies already conducted and submitted with the project application sufficiently analyze the environmental issues that are relevant to the project, and the professional documentation of these impacts and mitigation measures incorporated permit the issuance of a mitigated negative declaration of impact.

c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

☐☐☒☐

Aesthetics and visual impact analysis, and conformance to General Plan policies among all other environmental factors listed in this study reveal that development of the site in an area already developed with other like structures can be done with little effect. There are no project elements (with required mitigation measures) which will cause substantial adverse effects to human beings based on the community goals described in the General Plan.

REFERENCES (available at the Mammoth Lakes Town Offices, 437 Old Mammoth Road, Suite R, Mammoth Lakes):

- Greyhawk Subdivision and related project information
- Town of Mammoth Lakes General Plan
- Technical study impact assessments of project site

APPENDICES

- A – Photographs/View Simulations of the site and surrounding parcels-daytime and nighttime
- B – Proposed project plans
- C– Residential Land Use General Plan Policy Analysis



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ADDENDUM – STORIED PLACES/ALTIS PROJECT INITIAL STUDY AND MITIGATED NEGATIVE DECLARATION

INTRODUCTION

On August 10, 2005, the Mammoth Lakes Planning Commission adopted the Mitigated Negative Declaration for the Storied Places project and Master Plan (SCH #2005052094). The Initial Study and Mitigated Negative Declaration evaluated the impacts of constructing 22 units in 11 duplex building along with an amenity building and manager's unit and two new access roads located adjacent to the Greyhawk Master Plan area.

The project has undergone some minor modifications, and some Town and Mammoth Lakes Fire Protection District standards have changed, since the Initial Study and Mitigated Negative Declaration were prepared and the project was approved on August 10, 2005. This Addendum addresses these modifications to the site design and project proposal.

STATUTORY BACKGROUND

Under the California Environmental Quality Act (CEQA), an Addendum to a certified Environmental Impact Report (EIR) or Negative Declaration is needed if minor technical changes or modifications to the proposed project occur (CEQA Guidelines § 15164). An addendum is appropriate only if these minor technical changes or modifications do not result in any new significant impacts or a substantial increase in the severity of previously identified significant impacts. The Addendum need not be circulated for public review (CEQA Guidelines § 15164[c]); however, an addendum is to be considered along by the decision making body prior to making a decision on the project (CEQA Guidelines § 15164[d]).

This Mitigated Negative Declaration Addendum demonstrates that the environmental analysis, impacts, and mitigation requirements identified in the Storied Places Mitigated Negative Declaration remain substantively unchanged by the situation described herein, and supports the finding that the proposed project does not raise any new issues and does not exceed the level of impacts identified in the previous Mitigated Negative Declaration.

EVALUATION OF MODIFICATIONS

The adopted MND analyzed a Master Plan for development of 22 fractional use condominium residential units and a 9,000 square foot amenity building with a caretaker's unit, together with new parking and landscape improvements. Also analyzed were requests for specific on-site development standards in the Master Plan, including increases in height above the 35-foot standard in the Municipal Code for the Town of Mammoth Lakes, and a reduction in yard setback between the project site and the adjacent ski run on U.S. Forest Service (USFS) lands from 20 to 5 feet.

The revised project application includes several minor revisions from the above, including the addition of one new duplex structure. This building is located in the same area as the amenity building approved by UPA 2005-03 on August 10, 2005. The proposed amenity building has a much smaller footprint than the approved building, and the manager's unit has been eliminated. Therefore, the difference in density between the two proposals is only one additional unit. All buildings will be wholly owned, rather than fractional. The traffic study used for the adopted MND analyzed a project on this site with 44 units. The proposed density is still well below that number, therefore, the traffic impacts and mitigation measures identified in the adopted MND would completely address the traffic impacts in the revised project.

The project proposes to make minor modifications to the permitted heights of the buildings, however, a site diagram showing the existing permitted roof planes with the proposed buildings illustrates that there will be negligible changes to the view of the project from offsite (see Attachment 1). The proposed exterior materials also complement the natural surroundings better than the originally proposed materials.

Finally, the original approval permitted maximum site coverage of 50%. The applicant proposes to revise the maximum permitted site coverage to 52.5%, although site coverage is only proposed to be 50.3%. Maximum site coverage permitted in the RMF-2 zone is 60%, so the project's proposed site coverage is still well below that. The existing mitigation measures are sufficient to address the proposed changes to site coverage.

Mammoth Lakes Fire Protection District (MLFPD) standards have changed slightly since the MND was adopted, so a few minor changes have been made to reflect those standards. Compliance with all mitigation measures shall be to the fullest extent possible while also taking into account compliance with the requirements of the Wildland Urban Interface and defensible space.

All other impact areas, including cultural resources, geology and soils, hydrology and water quality, land use planning, mineral resources, noise, population and housing, recreation, transportation and traffic, and utilities and services systems, have been analyzed and it has been determined that no changes or new impacts would result from the project changes.

FINDINGS AND SUMMARY OF AMENDMENTS

In preparing this Addendum, all of the potential impacts identified on the CEQA "Environmental Checklist Form" were considered. For all impact areas, a preliminary review indicated that the proposed modification is consistent with the original design of the project and therefore would have no new impacts not already identified in the Storied Places Mitigated Negative Declaration.

Aesthetics: There will be no additional impacts or mitigation measures related to aesthetics. A site plan overlay analysis (included as Attachment 1) illustrates the currently approved roof planes (in blue) with the proposed buildings (brown). Based on this analysis, staff has determined that the visual impacts from the project will be no more significant than those from the current approval.

Air Quality: The following mitigation measure has been revised in order to reflect a change in the way the Town collects fees related to street sweeping.

- Road dust will be controlled by street sweeper maintenance. A monetary contribution to a system for removal of particulate matter utilized on Town roads for traction control shall be made as part of the Town's Development Impact Fees.

Biological Resources: This section has been revised to clarify the timing and requirements of several of the mitigation measures, as below:

- Construction areas shall be clearly delineated to minimize impact. Fencing shall be erected no farther than 5 feet from the top of fills and toe of slopes and all areas of construction. The intent of such fencing is to be a rigid physical barrier that prohibits construction vehicles from crossing, and shall be delineated on plans and approved by staff prior to issuance of a grading permit. All fencing shall be installed and approved by staff prior to any grading activity on-site. No ground disturbance shall be permitted outside of these areas. ~~This language shall be placed in the CC&R's for the project.~~
- Construction activities shall ~~be scheduled~~ occur during daytime hours only. Noise levels shall be kept to a minimum by muffling equipment such as engines and generators.

Geology and Soils: Changes have been made to one mitigation measure in this section for clarity.

- All areas that require landscaping shall be revegetated with native vegetation.

Public Services: This section has been revised to address new requirements and regulations of the Mammoth Lakes Fire Protection District and revisions to the project and requirements of the Greyhawk Master Plan. The following mitigation measure has been revised to reflect these requirements. Additionally, the new design of the project includes a hammerhead at the end of the extension to Bridges Lane that will be used for fire access and turnaround, and this area will be required to be free and clear of obstacles at all times.

- Both Bridges Lane and access roadways will be required to have a minimum paved surface ~~of 20~~ at least as wide as the roads leading to them or 24 feet, whichever is less, capable of supporting imposed emergency vehicle weights (60,000 pounds). These road widths are required to be maintained at all times for emergency vehicle access.

CONCLUSIONS AND SUMMARY

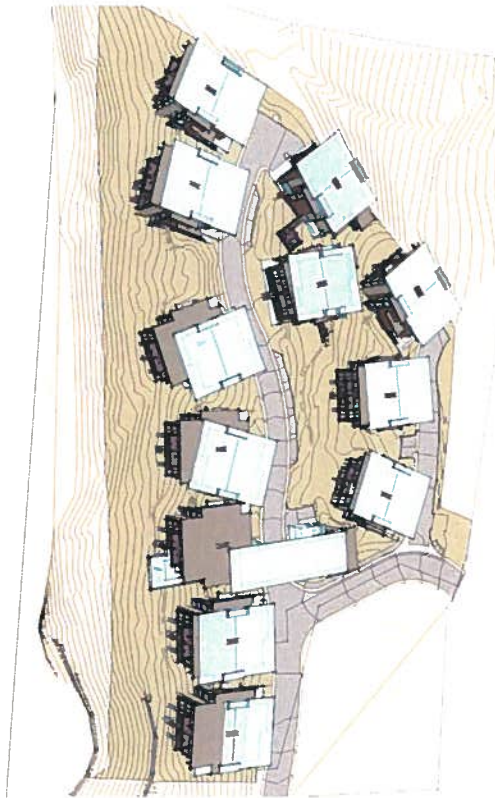
In summary, the analysis concludes that none of the conditions described in Section 15162 of the CEQA Guidelines calling for preparation of a subsequent EIR or Negative Declaration have occurred, and thus an Addendum to the Storied Places Mitigated Negative Declaration is appropriate to satisfy CEQA requirements for the proposed project.

ATTACHMENTS

1. Comparison of proposed building heights with permitted roof plans from current approval
2. Summary of mitigation measures

APPROVED SITE PLAN OVERLAY: VIEW ONE

1. BUILDINGS IN LIGHT BLUE REPRESENT THE APPROVED SITE PLAN SUBMITTED BY OLSEN BARNHART KIMMO AND ALLEN



APPROVED SITE PLAN OVERLAY: VIEW TWO

1. BUILDINGS IN LIGHT BLUE REPRESENT THE APPROVED SITE PLAN SUBMITTED BY OLSEN BARNHART KIMMO AND ALLEN



Altis at Mammoth Lakes

INTRASTAR
6930 South McCain Blvd
Reno, NV 89509

TTM-UPA SUBMITTAL



SITE COMPARISON
DIAGRAM
L5.0

SUMMARY OF MITIGATION MEASURES

I. AESTHETICS

- A1. Tinted glass shall be required on east facing windows to reduce light transmittance from interior lighting.

III. AIR QUALITY

- A1. A comprehensive erosion and sediment control plan, including watering for fugitive dust control, will be required in conjunction with site development and shall be shown on project grading plans. The Town shall require and monitor dust control measures during site grading operations. Methods to control airborne dust, erosion, and sediment transport shall be required as part of a grading permit application to the Town.
- A2. Disturbed areas shall be re-vegetated to provide permanent soil stabilization.
- A3. Each unit in the project is limited to the installation of a single EPA Phase II stove or gas heating appliance.
- B1. Road dust will be controlled by street sweeper maintenance. A monetary contribution to a system for removal of particulate matter utilized on Town roads for traction control shall be made as part of the Town's Development Impact Fees.
- B2. The project must conform to the requirements of the Air Quality Management Plan and the Particulate Emissions Regulations of the Town Municipal Code.

IV. BIOLOGICAL RESOURCES

- A1. Identify on a plan all dead standing and downed trees greater than 30" dbh that will be removed for construction, including areas of building footprints as shown on the master plan. These trees to be removed shall be approved by staff prior to approval of this application.
- A2. All downed 30" dbh trees affected by roadway or home construction shall be shown on a plan that relocates all such trees to areas not affected by new development. This shall be shown on a plan to be approved by staff prior to approval of grading and/or building permits.
- A3. Windfalls and other coarse woody debris removed from building sites on the project area shall be redistributed onto adjacent, undeveloped natural areas to enhance structural diversity and promote continued wildlife use of forested habitats. This shall be included on plans prior to issuance of grading and/or building permits.
- A4. The CC&R's for this project shall prohibit any removal of trees unless they constitute a hazard to adjacent structures.
- D1. Construction areas shall be clearly delineated to minimize impact. Fencing shall be erected no farther than 5 feet from the top of fills and toe of slopes and all areas of construction. The intent of such fencing is to be a rigid physical barrier that prohibits construction vehicles from crossing, and shall be delineated on plans and approved by staff prior to issuance of a grading permit. All fencing shall be installed and approved by staff prior to any grading activity on-site. No ground disturbance shall be permitted outside of these areas.

- D2. Access to work areas shall utilize existing dirt roads or primary access routes within the project area to the maximum extent feasible to avoid unnecessary disturbance to native vegetation outside the project area limits.
- D3. Vegetation removal shall be limited to only those areas identified on the approved plan. This language shall be placed in the CC&R's for the project.
- D4. Revegetation of disturbed areas shall be conducted immediately following construction.
- D5. The spread of weeds shall be deterred by covering stockpiled topsoil and revegetating disturbed sites as soon as possible.
- D6. Dogs shall be prohibited in the project area during construction.
- D7. Construction activities shall occur during daytime hours only. Noise levels shall be kept to a minimum by muffling equipment such as engines and generators.
- D8. Open ditches and trenches shall be covered during nighttime hours each day.
- D9. Refueling and repair of equipment shall be confined to disturbed areas.
- D10. Preservation of valuable habitat features such as trees, downed logs, snags, and rock piles shall be preserved to the maximum extent feasible and shall be accomplished as outlined in mitigation measures outlined in number 3 above.
- D11. No permanent solid fences, which could be a barrier to wildlife movement, shall be constructed on the subject property. This language shall be placed in the CC&R's for the project.
- D12. Management of open space areas shall be specified in the CC&R's, including restrictions on tree removal and disposal of hazardous materials.
- D13. Town leash laws shall be reiterated in the project CC&R's.
- D14. Reduced speed limits of 10 miles per hour shall be imposed along all roads within and leading to and from the development to reduce the risk of wildlife-vehicle collisions.

V. CULTURAL RESOURCES

- D1. Should evidence of potentially significant cultural resources be discovered during grading and/or construction of the project, a mitigation plan shall be developed and completed prior to further construction or earth disturbance.
- D2. The Professional Guide for the Preservation of Native American Remains and Associated Grave Goods shall be utilized to protect Native American burial sites should they be discovered.

VI. GEOLOGY AND SOILS

- A1. All new construction is to be built in accordance with the requirements of the Uniform Building Code for Seismic Zone IV.
- A2. The General Plan EIR evaluated geology and soils impacts and determined that there would be a significant unavoidable impact. A Statement of Overriding Considerations was adopted for development within the Town of Mammoth Lakes.
- B1. The project is subject to Best Management Practices (BMP's) as determined through the CRWQCB through issuance of a Stormwater Pollution Prevention Plan (SWPPP).
- C1. All areas that require landscaping shall be revegetated with native vegetation.

XIII. PUBLIC SERVICES

- A1. Both Bridges Lane and access roadways will be required to have a minimum paved surface at least as wide as the roads leading to them or 24 feet, whichever is less, capable of supporting imposed emergency vehicle weights (60,000 pounds). These road widths are required to be maintained at all times for emergency vehicle access.
- A2. Parking shall not extend into minimum clear widths of the road.
- A3. Vegetation management plans shall be developed with these requirements in mind for future plant growth.
- A4. "No Parking" signs shall be used to guarantee width maintenance requirements. Widths may need to be increased in driving areas adjacent to fire hydrants to allow for clear access.
- A5. Maximum allowable road grade is 10%.



Town of Mammoth Lakes

ADDENDUM II
Storied Places/Altis Project
Initial Study/Mitigated Negative Declaration
(State Clearinghouse No. 2005052094)

August 9, 2012

Lead Agency:

Town of Mammoth Lakes
PO Box 1609
437 Old Mammoth Road, Suite R
Mammoth Lakes, California 93546

Contact: Ms. Jen Daugherty, Associate Planner
(760) 934-8989 ext. 260

BACKGROUND

On August 10, 2005, the Town of Mammoth Lakes Planning Commission adopted the Initial Study/Mitigated Negative Declaration (IS/MND) for the Storied Places Project and Master Plan (“Project”) (SCH #2005052094). The IS/MND evaluated the impacts of constructing 22 units in 11 duplex building, an amenity building, a manager’s unit, and two new access roads, located adjacent to the Greyhawk Master Plan area.

In 2008, minor modifications to the Project were adopted, including the net addition of one unit of density (resulting in a total of 24 units plus one amenity building), minor revisions to the permitted building height, and an increase in permissible lot coverage to accommodate additional road width. The master plan was also renamed the “Altis at Mammoth Lakes” Master Plan. An Addendum to the IS/MND was prepared to address these revisions to the Project. The Addendum concluded that there would be no new or increased environmental impacts resulting from the revisions, and the Addendum was considered by the Town Council on June 18, 2008 in its approval of the proposed revisions (Ordinance 08-07).

Part of the Project has been completed under current entitlements including two duplex townhome condominium buildings (four units), tree removal, and a trash enclosure. The two access roads, including utilities, will be under construction in summer 2012 under Grading Permit 12-05.

INTRODUCTION

This second Addendum (Addendum II) to the Storied Places/Altis Project Initial Study/Mitigated Negative Declaration (IS/MND) (SCH #2005052094) has been prepared by the Town of Mammoth Lakes (“Town”) to assess the potential environmental impacts of revisions proposed to the Altis at Mammoth Lakes Master Plan (“Project”).

In April 2012, the Town of Mammoth Lakes (“Town”) received an application to amend the Project to allow for single family lots in addition to duplex townhome condominiums. The Master Plan amendment also included allowing guest/secondary units for the single family homes in accordance with State law, development standards related to the single family dwellings, and other minor clarifications and corrections to the Master Plan. This application was filed concurrently with a Vesting Tentative Tract Map (VTTM 12-001) to subdivide the site into nine single family lots. A variance is also required to allow for the reduced right-of-way width proposed for the project access road as allowed by the Subdivision Ordinance.

Following preliminary review of the proposed modifications to the Project, the Town determined that it is subject to the guidelines and regulations of the California Environmental Quality Act (CEQA). This Addendum II addresses the proposed modifications to the Project, pursuant to CEQA Guidelines.

STATUTORY AUTHORITY AND REQUIREMENTS

Under the California Environmental Quality Act (CEQA), an Addendum to an adopted Negative Declaration may be prepared if only minor technical changes or additions are necessary or none of

the following conditions described in §15162 calling for the preparation of a subsequent Negative Declaration have occurred:

1. Substantial changes are proposed in the project which will require major revisions of the previous Negative Declaration due to the involvement of new significant environmental effects of a substantial increase in the severity of previously identified significant effects;
2. Substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or
3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous Negative Declaration was adopted, shows any of the following:
 - a. The project will have one or more significant effects not discussed in the previous Negative Declaration; or
 - b. Mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.

An Addendum need not be circulated for public review (CEQA Guidelines § 15164[c]); however, the decision making body shall consider an Addendum with the previously adopted Negative Declaration prior to making a decision on the project (CEQA Guidelines § 15164[d]).

This Addendum II demonstrates that the environmental analysis, impacts, and mitigation measures identified in the Storied Places/Altis Project Initial Study/Mitigated Negative Declaration remain substantively unchanged by the situation described herein, and supports the finding that the proposed revisions to the Project do not result in any new environmental effects and do not exceed the level of impacts identified in the previously adopted IS/MND.

EVALUATION OF MODIFICATIONS

The adopted IS/MND and first Addendum (“Addendum I”) analyzed a Master Plan for the development of 24 residential condominium units, an amenity building, access roads, parking, utilities, and landscape improvements. Also analyzed were the specific on-site development standards in the Master Plan, including building height above the 35-foot standard in the Town’s Municipal Code, a reduction in the setback between the Project site and the adjacent ski run on U.S. Forest Service (USFS) lands from 20 to five feet, and an increase in allowable lot coverage from 50% to 52.5%.

The proposed revisions to the Project would not increase the number of units previously permitted, and would in fact likely result in fewer units because of the allowance for single family lots. The reduction in units would create less of an impact on utilities and service systems, public services, population and housing, transportation and traffic, and air quality. The revisions proposed in the Master Plan also include delineated buildable areas on the single family lots, which would maximize tree preservation and reduce site disturbance. Furthermore, the revised Master Plan requires an

Administrative Design Review permit for the single family homes, which allows the Town to review proposed building materials and colors to ensure they are consistent with the Town's Design Guidelines.

The revisions proposed to the Master Plan also include a clarification in building face height measurement and building height measurement that allows chimneys and similar appurtenances to extend a maximum of two feet above the maximum permitted building height consistent with the Town's Municipal Code. The building height measurement clarifications are negligible and would not result in any additional impact or increase in impacts identified in the IS/MND.

All other impact areas, including cultural resources, geology and soils, hazards and hazardous materials, hydrology and water quality, land use planning, mineral resources, noise, and recreation, have been analyzed and it has been determined that impacts would be reduced or that no changes or new impacts would result from the proposed Project revisions. No new impacts, not previously analyzed in the IS/MND or Addendum I, would occur as a result of the changes because the nature of the proposed project (a residential development and associated amenities) is similar to that previously proposed.

FINDINGS AND SUMMARY OF AMENDMENTS

In preparing this Addendum, all of the potential impacts identified on the CEQA "Environmental Checklist Form" were considered. For all impact areas, a preliminary review indicated that the proposed modifications are consistent with the original design of the Project, and therefore, would have no new impacts not already identified in the Storied Places/Altis Project Initial Study/Mitigated Negative Declaration. No changes to any of the existing mitigation measures are required.

CONCLUSIONS AND SUMMARY

In summary, the analysis concludes that none of the conditions described in Section 15162 of the CEQA Guidelines calling for preparation of a subsequent EIR or Negative Declaration have occurred, and thus an Addendum to the Storied Places/Altis Project Initial Study/Mitigated Negative Declaration is appropriate to satisfy CEQA requirements for the proposed Project.

ATTACHMENTS

1. Revised Altis at Mammoth Master Plan (text in track changes)
2. Vesting Tentative Tract Map 12-001
3. Allowable Building Height for Single Family Lots and Height Study Diagram for Previously Approved Altis Condominium Project
4. Mitigation Monitoring and Reporting Program

2012 MASTER PLAN
FOR
ALTIS AT
MAMMOTH LAKES

67 Bridges Lane and 75 Ansel's Place
Mammoth Lakes, CA
(Assessor's Parcel #31-260-01, -02, -03)

~~July 2, 2008~~
August 9, 2012

Prepared by
Mammoth Lakes Bridges Development Company, LLC
80 Canyon Blvd. Mammoth Lakes, CA
Post Office Box 24, Mammoth Lakes, CA 93546

TABLE OF CONTENTS

1. Project Description	<u>1</u>
2	
2. Land Use & Development Standards	<u>32</u>
2.1 Introduction	
2.2 Permitted &and Conditional Uses	
3. Property Development Standards	<u>2</u>
3.1 Minimum Lot Size	
3.2.4 Density	
2.53.3 Setbacks &and Separations	
2.63.4 Maximum Site Coverage	
2.73.5 Building Height	
2.83.6 Window Finishes	
3. 4. Access Drive & Roads and Parking Requirements	<u>54</u>
34.1 Access drives	
34.2 Parking	
4.3 Driveways	
5. 4. Site Development Standards	<u>5</u>
45.1 Grading and Clearing	

45.2 Snow Shedding ~~&~~and Storage Standards

45.3 Planting ~~&~~and Tree Preservation

45.4 Walls ~~&~~and Fences

45.5 Setbacks

6. Exhibits

8

Exhibit A – Vicinity Map

Exhibit B – Site ~~Plan~~Plans

B-1 Single-Family Lots

B-2 Duplex Townhomes

Exhibit C – Plots Plans for Single-Family Lots

Exhibit D – CEQA Documents

D-1 Mitigation Measures ~~&~~and Mitigated Negative Declaration with Addendum

D-2 Addendum II Storied Places/Altis Project Initial Study/Mitigated Negative Declaration

D-3 Addendum II Storied Places/Altis Project Initial Study/Mitigated Negative

Declaration Mitigation Monitoring and Reporting Program

1. Project Description

This 2012 Master Plan for Altis at Mammoth Lakes is (“2012 Master Plan”) creates a proposed development neighborhood of 12 side-by-side single-family homes and duplex townhomes which comprise a maximum of 24 dwelling units comprising 24 residences with an associated (plus one amenity building to be constructed) on a 3.21-acre parcel. The entire 3.21 acres is (the “Site”). The Site is located within the Resort Zone and lies adjacent to a ski run at Mammoth Mountain Ski Area. The Site contains two duplex townhomes (4 dwelling units) that were constructed pursuant to the Master Plan for Altis at Mammoth Lakes (“2008 Master Plan”), which was approved by the Planning Commission of the Town of Mammoth Lakes (“Town”) on May 28, 2008 (Resolution No. PC-2008-07) and was approved by the Town Council of the Town on June 18, 2008 (Ordinance No. 08-07).

The 2012 Master Plan proposes to permit the development of single-family homes at Altis, in addition to the currently zoned Residential Multiple Family 2 (RMF-2) approved duplex townhomes, and is to establish development standards for those single-family homes. Single-family homes are a permitted use within the Resort Zone Overlay. The Town of Mammoth Lakes Municipal Code (the “Municipal Code”) Section 17.28.240 allows for land use and permits zoning changes to permit the development of resort zone properties within the Resort Zone.

The Site is identified as the “Bridges Parcel” in the Development Agreement dated February 15, 2002 (the “Effective Date”) among the Town, Intrawest California Holdings, Inc. (“Intrawest”) and various Intrawest affiliates. Therefore, an application to develop the Site is processed in accordance with the “Vested Rules”, which the Development Agreement defines as the “ordinances, resolutions, rules, regulations, requirements, and official policies of the Town in effect as of the Effective Date, whether set forth in the General Plan, the Municipal Code, or otherwise...”

The 1987 Mammoth Lakes General Plan (the “1987 General Plan”) was in effect on the Effective Date of the Development Agreement, and presents a vision for the future of the Town of Mammoth Lakes. Altis at Mammoth Lakes will remain consistent with the Town’s goals for future development. The objective of the project is to provide well built, beautifully designed homes and amenities nestled within the spectacular natural setting.

Mammoth Lakes. The Land Use Element of the 1987 General Plan presents goals for development; Goal number 3 is “to improve the economic stability of Mammoth Lakes by establishing the community as a year-round destination resort, while preserving the unique natural setting of the community and wildlife habitat which attracts both visitors and residents.” To that end, the Altis at Mammoth Lakes project has been designed to reflect the unique history, culture, local flavors, geography, and natural attributes of Mammoth Lakes.

The 2012 Master Plan will provide a low-density mix of ski-in and ski-out single-family homes and duplex townhomes in a spectacular natural setting. To maintain the natural character of the site, tree preservation and siting in conjunction with a workable forestry fire protection defensible space plan will be a priority. Minimal site walls

~~will be used to retain the slopes, and each building will be carefully sited to save trees. New supplemental landscape will be of indigenous plant species.~~

~~Structures will be nestled among the existing trees and Site, structures~~ will be positioned to ~~minimize~~maximize the ~~impact on the site. The proposed units will be situated to preserve the~~preservation of existing ~~slopes~~trees and ~~slopes, to~~ integrate with the existing landscape. ~~They are positioned, and~~ to promote privacy and preserve views.

~~All parking for the residential units is provided in individual attached two-car garages. Nine guest parking spaces are located on site, including one disabled parking space adjacent to the amenity building. The amenity building contains a lounge and exercise facility.~~

~~The project architecture is influenced by the High Sierras: contemporary with strong lines casting dramatic shadows. From each home at Altis at Mammoth Lakes, the views across to the Sherwins are dramatic and panoramic. They will be framed within large glass areas, expressed in a direct and simple manner. The strong natural light guides the architecture. The architecture reflects the environment. These individual structures form a cohesive development with a bold structure and a crisp material hierarchy.~~

This ~~document~~2012 Master Plan includes ~~both~~ text and diagrams that specify the requirements for development of ~~the~~ Altis at Mammoth Lakes ~~project~~.

2. Land Use & Development Standards

2.1 Introduction — Although the Altis at Mammoth Lakes project largely complies with zoning standards for RMF-2 development within a Resort Zone Overlay, this Master Plan was created to allow modifications to existing requirements for Building Heights and Setbacks. Development — Zoning and development standards not specifically noted shall be consistent with the Town of Mammoth Lakes Municipal Code.

2.2 Permitted & Conditional Uses — Within the project area, the permitted and conditional uses Where not addressed in this 2012 Master Plan, Residential Single-Family (“RSF”) zoning and development standards shall be consistent with RMF-2/Resort Zone Overlay land use and apply to single-family homes, and Residential Multi-Family-2 (“RMF-2”) zoning and development standards as follows: shall apply to the duplex townhomes.

2.2 Permitted and Conditional Uses

2.2.1 Permitted Uses

2.2.1.1 Multiple dwellings One single-family home on the same each lot

2.2.1.2 One attached or detached guest unit on each single-family lot

2.2.1.3 Transient rental of single-family homes, guest units, and duplex townhomes

2.2.1.1 All single-family homes and guest units shall require an administrative design review permit.

2.2.2 Conditional Uses

2.2.2.1 Duplex (multi-family) dwelling units townhomes with or without Fractional Ownership fractional ownership

2.2.2.2 Amenity Building (private recreational facility directly related to the primary use) The amenity building is required only if the total number of dwelling units exceeds twenty. The amenity building may be constructed if fewer than twenty total dwelling units are constructed.

2.2.2.3 Manager’s Unit

2.3 Minimum Lot Size — The minimum Lot Size shall be consistent with RMF-2/Resort Zone Overlay land use and zoning standards as follows:

3. Property Development Standards

3.1 Minimum Lot Sizes

3.1.1 Single-Family Homes:

3.1.1.1 Minimum Gross Lot Area ~~=40~~ shall be 8,500 square feet.

3.1.1.2 Minimum Buildable Area shall be 2,000 square feet.

~~2.3.21.1.3~~ Minimum Lot Width ~~=150~~ shall be 75 feet.

~~2.3.31.1.4~~ Minimum Lot Depth ~~=150~~ shall be 80 feet.

3.1.2 Duplex Townhomes:

3.1.2.1 Minimum Gross Lot Area shall be 8,500 square feet.

3.1.2.2 Minimum Buildable Area shall be 2000 square feet.

3.1.2.42 Minimum Lot Width shall be 75 feet.

3.1.2.3 Minimum Lot Depth shall be 80 feet.

3.2 Density — The maximum density ~~or yield of development~~ on the Site shall be 24 dwelling units plus ~~one~~ amenity building. ~~Note: This is fewer than the 25.68 units (8 units/acre) allowed under RMF-2/Resort Overlay standards.~~ The maximum number of single-family homes shall be nine. In addition to a single-family home, each single-family lot may contain one attached or detached guest unit, which may not exceed thirty percent of the floor area of the single-family home if attached or one thousand two hundred square feet if detached. Any guest unit shall not be counted in the calculation of density for the Site.

2.53.3 Setbacks & Separations — The minimum setbacks and separations for structures shall be as follows:

2.53.3.1 Side Yard Setbacks

2.53.3.1.1 Side Yards that do not border USFS lands/ski hill = 10 feet. ~~Note: This is the same as that allowed under RMF 2/Resort Overlay standards.~~

2.53.3.1.2 Side Yards that border USFS lands/ski hill = 5 feet

2.53.3.2 Private ~~Street~~ Setback from John Muir Way =and/or Bridges Lane - 10 feet from edge of pavement

2.53.3.3 Separations

2.53.3.3.1 Minimum building separation ~~is to~~ shall be no less than 10 feet.

2.53.3.3.2 Where building construction type requires greater separation per building codes, the building codes shall apply. Minimum building separation is subject to Design Review for compliance with snow shedding requirements.

2.63.4 Maximum Lot Coverage and Site Coverage – The maximum ~~site~~ lot coverage for each lot is shown in the Plot Plans attached collectively as Exhibit C. The maximum Site coverage, including all structures and paved or other impervious surfaces, shall be 52.5%.

2.73.5 Maximum Building Height — ~~The maximum allowable Building Height shall be as follows:~~

2.7.1 Duplex Dwellings

Buildings 1A, 2A, 4A, 5A, 6B, 7B, 8C, 9C, 10B, 11B, 12B: 39 feet

Building 3A: 44 feet

2.7.2 Amenity Building = 22 feet

2.7.3 Building Height is the average of the four outermost corners of the structure from natural grade to the topmost point of the building. Chimneys and similar appurtenances may project a maximum of two feet above the maximum building height of any structure. Building Face Height is the maximum height of the topmost point of the building to the lowest point of the natural grade within the buildable area of the lot. The maximum allowable Building Height and Face Height shall be as follows:

2.7.3.5.1 Single-Family Homes.

3.5.1.1 Maximum Building ~~Face Height~~ Height: Lots 1, 2, 3, 4, 5, 6, 7, and 8: 39 feet

~~2.7.4.1 Building Face Height is the maximum height of the tallest building wall from average natural grade to the top of the wall at the roof.~~

~~Lot 9: 44 feet~~

~~3.5.1.2 Maximum Face Height: Lots 1, 2, 3, 4, 7: 45 feet~~

~~Lots 5 and 6: 46 feet~~

~~Lot 8: 48 feet~~

~~Lot 9: 51 feet~~

3.5.2 Duplex Townhomes

3.5.2.1 Maximum Building Height: Buildings 1A, 2A, 4A: ~~48 feet~~

Building 3A: 51 feet

Building, 5A, 6B, 7B: ~~46 feet~~

Buildings 5A, 8C, 9C, 10B, 11B, 12B: ~~45~~39 feet

Building 3A: 44 feet

3.5.2.2 Maximum Face Height: Buildings 1A, 2A, 4A: 48 feet

Building 3A: 51 feet

Building 6B, 7B: 46 feet

Buildings 5A, 8C, 9C, 10B, 11B, 12B: 45 feet

3.5.3 Amenity Building: ~~22 feet~~

~~2.83.5.3.1 The maximum building height of the amenity building is 22 feet.~~

3.6 Window Finishes - All ~~windows~~buildings shall use tinted ~~HP Sun-2~~glass, ~~meeting the objective of minimizing reflectivity and transmittance levels on all windows, which shall include the sum total of HP Sun-2 or equivalent.~~

34. Access Drive & Roads and Parking Requirements

34.1 Access drives ~~Interior access drives~~Roads - Access roads shall be constructed to have a minimum paved surface ~~at least as wide as the roads leading to them or of~~ 24 feet, ~~whichever is less, capable of supporting imposed emergency vehicle weights (60,000 pounds), and shall meet the standards).~~ A minimum of 26 feet of right-of-way with ten foot easements for private residential streets of the Town of

~~Mammoth Lakes Engineering Division~~ snow storage and utilities on either side for a total of 46 feet shall be provided.

3

4.2 Parking – Parking shall be provided ~~consistent with RMF 2/Resort Zone Overlay land use and zoning standards~~ as follows:

~~3.2.1 Duplex Dwellings – Each three bedroom residential unit (one half of a side by side duplex) will have an attached two car garage.~~

3.2.24.2.1 Single-Family Homes - Each single-family home shall have an attached garage that holds a minimum of two cars. In addition to the attached garage, each single-family home shall include at least one 20-foot by 10-foot parking space in its driveway. Each guest unit will require one additional 20-foot by 10-foot on-site parking space. Parking requirements for single-family homes shall be consistent with Municipal Code 17.16.150.H.1 and 17.16.150.K where additional parking is required based on the home's square footage exclusive of garages and decks:

- a. 0-2,999 s.f. – 3 parking spaces required.
- b. 3,000-4,999 s.f. – 4 parking spaces require
- c. 5,000-6,999 s.f. – 5 parking spaces required
- d. 7,000 s.f. and greater – 6 parking spaces required

4.2.2 Duplex Townhomes – Each dwelling unit in each duplex townhome shall have an attached garage that holds a minimum of two cars. Parking shall not be permitted in any driveway less than 20 feet in length. Guest Parking ~~—Nine uncovered guest parking spaces will be provided on site per the requirements—is required for the duplex townhomes and shall conform to the provisions of Municipal Code Section 17.16.150, including one disabled space adjacent to the amenity building.~~
These spaces shall be designed to be available to guests and visitors and shall not be allocated to individual dwelling units. Parking areas may be paved with asphalt, concrete, concrete pavers, turf stone, or other materials.

4.3 Driveways

4.3.1 Single-Family Homes - Only one driveway is permitted for each single-family home. Minimum driveway width shall be 20 feet

4.3.2 Duplex Townhomes – Minimum driveway width shall be 20 feet.

5. Site Development Standards

45.1 Grading and Clearing

~~4.1.1 Grading will be necessary on the Altis at Mammoth Lakes site.~~ 5.1.1 Grading operations will be carefully managed to avoid environmental damage to adjacent non-graded areas, to protect existing trees, and to avoid impacts upon nearby properties to the extent feasible.

45.1.2 Grading will create natural-looking slopes where feasible, with varying gradients and profiles rather than the creation of uniform slopes. Round and feather tops, toes and edges of slopes will blend naturally with adjacent grades. Slope rounding may be limited or eliminated in areas where existing trees remain or project improvements are located. For areas with extensive grade change, vertical retaining walls may be necessary. For retaining wall materials, see Walls and Fences, Section 45.4.

45.1.3 All construction activities shall adhere to the current standards of the Town of Mammoth Lakes for erosion control. All buildings shall have interim erosion control measures such as filter fabric fencing, straw wattles or hay bale fencing to contain silt runoff during construction activities.

45.1.4 Each structure shall install a cobble-lined swale at the drip-line of the eaves. The purpose of the swale is to mitigate potential erosion and provide percolation.

45.1.5 Existing trees shall be preserved in groups or as individual trees in grading design.

45.1.5.1 A tree designated for preservation shall not have the soil grade altered within its drip-line or within 8' from the trunk, whichever is less. The grade may be raised or lowered if a certified arborist, with the concurrence of the Town of Mammoth Lakes, determines that the impact of raising or lowering the grade will not adversely affect the health of the tree. Appropriate barricades and fencing shall be installed at the drip-line or within 8 feet from the trunk, whichever is less, to protect preserved trees during grading and construction operations.

45.1.5.2 No impervious surfaces, fill, excavation, or storage of construction materials shall be permitted within the drip-line area defined described above.

45.2 Snow Shedding & Storage Standards

45.2.1 An area equal to a minimum of seventy-five percent of all uncovered required parking and driveway areas shall be provided for the storage of snow. All designated snow storage areas shall be at least ten feet wide and deep in the smallest dimension and shall be readily accessible and usable. These areas shall be unpaved and shall be substantially free and clear of obstructions. There shall be no parking in snow storage areas.

45.2.2 Roof forms are to be designed in coordination with the pedestrian areas at the base of buildings. Snow falling from roofs shall be directed to landscape areas at the base of the buildings. Snow will not be permitted to shed freely into active pedestrian areas.

45.3 Planting ~~&~~ Tree Preservation

45.3.1 The planted landscape shall incorporate trees and shrubs to revegetate disturbed areas, to buffer or frame views, to allow summertime shading of outdoor places, to allow transition in scale and to soften building massing, and to introduce variety into outdoor use areas.

45.3.2 Measures shall be implemented to minimize impacts upon adjacent areas of undisturbed vegetation and to protect nearby trees. These measures shall include installation of temporary fencing at the limits of clearing.

45.3.3 Plant materials in general will emphasize the use of native plants and appropriate compatible plant materials with low water requirements as recommended in the ~~Town of Mammoth Lakes~~ Town's Municipal Code and Design Guidelines. The selection of plant material shall be based upon the type of plant material removed and that of the material adjacent and within the areas to be revegetated. Plant material shall be a combination of conifers, deciduous trees and shrubs planted in informal masses rather than uniformly spaced. Lawn areas are discouraged, but may be used for small outdoor areas that support resident and guest activities.

45.3.4 Irrigation will be installed in all landscape areas only as required for initial establishment and maintenance. Drip irrigation shall be used where possible. Irrigation overspray and runoff shall be minimized by the use of low flow nozzles in spray appliances.

45.3.5 All plant materials shall be maintained until established. During the establishment period all dead and dying plants shall be replaced as soon as practical. Selective weed removal shall also be included during the plant establishment period, especially for the removal of invasive, non-native plant species.

45.3.6 Irrigation systems shall be maintained throughout the plant establishment period. Once plant materials are well established and self-sustaining, irrigation systems shall be phased out where possible.

45.3.7 All construction shall maximize tree preservation to the extent practical. The design and siting of single-family residences and driveways shall prioritize tree preservation as shown on the Plot Plans for each single-family home attached collectively as Exhibit C. The buildable areas shown on the Plot Plans shall not be expanded or modified if the expansion or modification would result in the removal of additional trees.

5.4 Walls ~~&~~ Fences

45.4.1 Walls and fences shall be consistent with traditional and appropriate design for the region, and will address current needs, codes, regulations and environmental considerations.

45.4.2 Landscape walls shall complement and extend the character of adjacent building bases, and the adjacent natural forms.

45.4.3 Retaining walls may have a core of reinforced poured concrete or masonry blocks, but the surfaces shall not be exposed except in areas with little or no visibility from public areas. Walls shall be finished with stone, architecturally finished concrete or cultured stone veneer. “Keystone” type wall systems are also acceptable.

45.4.4 Fencing materials shall consist of cedar, redwood, natural rock or logs. Stain and colors shall be consistent with the building architecture.

45.5 Setbacks

45.5.1 Minimum building setback of 5 feet from edge of adjacent driveway surfaces.

56. Exhibits

Exhibit A – Vicinity Map

Exhibit B – Site ~~Plan~~Plans:

B-1 Single-Family Lots

B-2 Duplex Townhomes

Exhibit C – Single-Family Plot Plans

Exhibit D – CEQA Documents

D-1 Mitigation Measures & Mitigated Negative Declaration with Addendum

D-2 Addendum II-Storied Places/Altis Project Initial Study/Mitigated Negative Declaration

D-3 Addendum II-Storied Places/Altis Project Initial Study/Mitigated Negative Declaration
Mitigation Monitoring and Reporting Program

SHEET 1 VTTM MAP SHEET
SHEET 2 CONCEPTUAL IMPROVEMENT PLAN

ACCESS EASEMENTS TO PROJECT SITE:

1. RECORDED ON OCTOBER 15, 1999 IN BOOK 876, PAGES 1 - 25 OF OFFICIAL RECORDS
2. INSTRUMENT NO. 2006005009 RECORDED JULY 5, 2006

MAMMOTH BRIDGES DEVELOPMENT COMPANY, LLC
6900 S. McCARRAN BLVD.
SUITE 3000
RENO, NV 89502
PHONE: 775-332-1200
FAX: 775-332-1199

TRIAD/HOLMES ASSOCIATES
P.O. BOX 1570
MAMMOTH LAKES, CA 93546
(760)934-7588 PHONE
(760)934-5619 FAX

BEING A RESUBDIVISION OF:

LOT 1 OF TRACT NO. 36-249, IN THE TOWN OF MAMMOTH LAKES, COUNTY OF MONO,
STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 10 PAGE 106 OF MAPS, IN
THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM, THE "ASSOCIATION COMMON AREA MODULE" AND UNITS 1,2,3, AND 4, AS SHOWN AND DEFINED ON THAT CERTAIN CONDOMINIUM PLAN FOR ALTIS MAMMOTH PHASE I, RECORDED JUNE 8, 2009, IN BOOK 2 PAGE 78 OF CONDOMINIUM PLANS, IN THE OFFICE OF THE MONO COUNTY RECORDER.

THE "ASSOCIATION COMMON AREA MODULE" AND UNITS 5, 6, 7, 8, 9 AND 10, AS SHOWN ON THAT CERTAIN CONDOMINIUM PLAN FOR ALTIS MAMMOTH PHASE II, RECORDED APRIL 2, 2010, IN BOOK 2 PAGE 81 OF CONDOMINIUM PLANS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

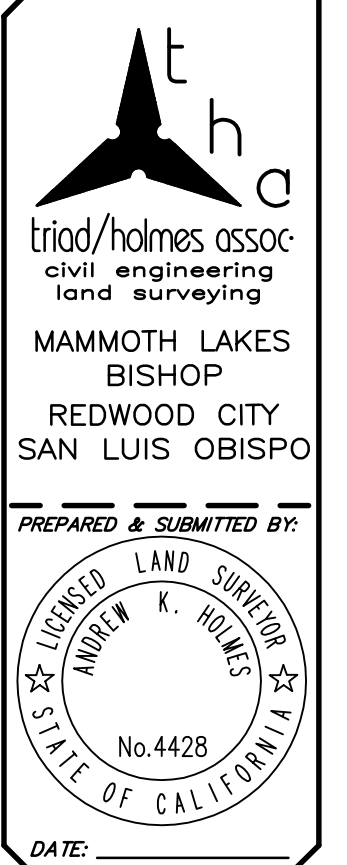
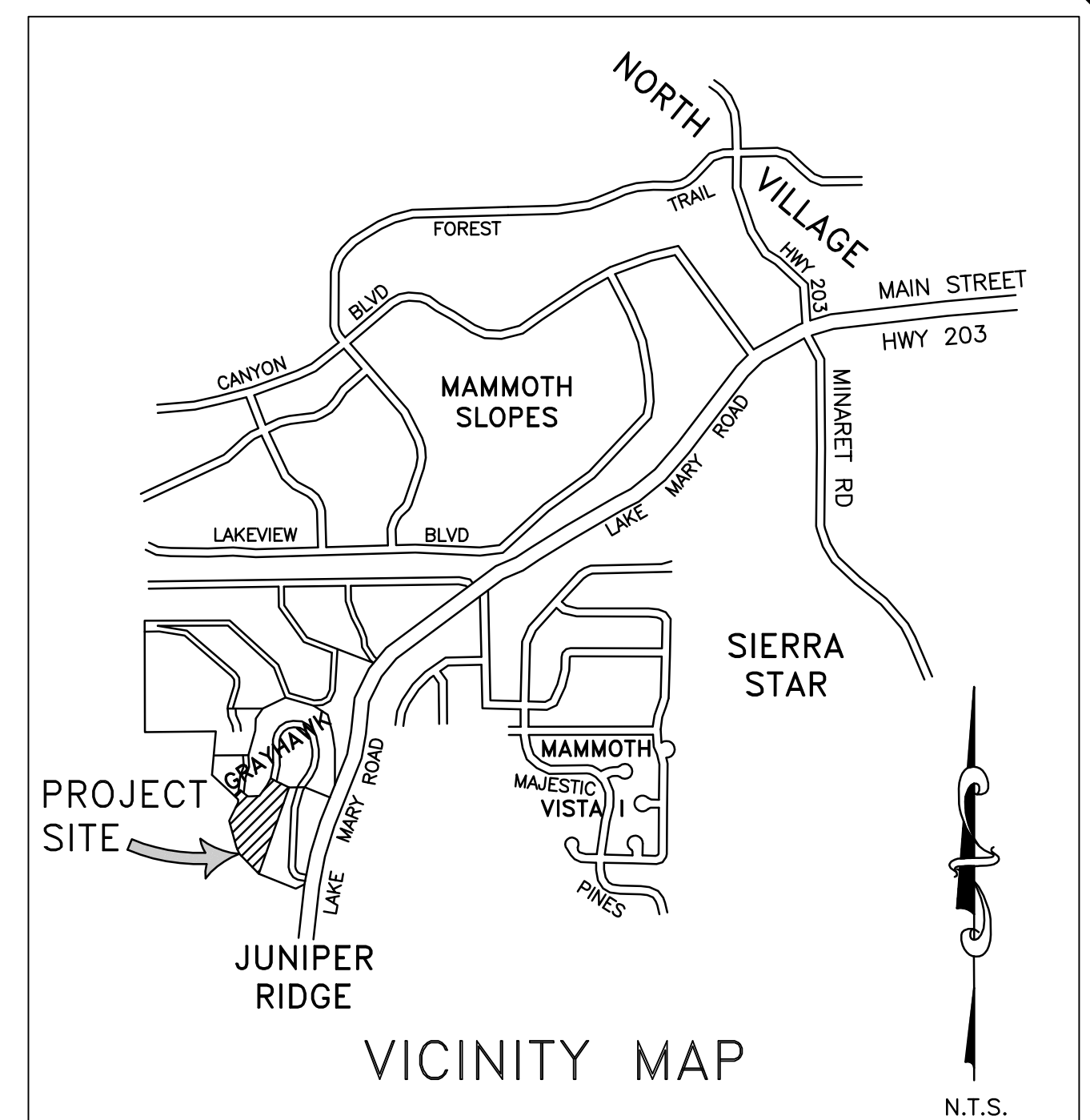
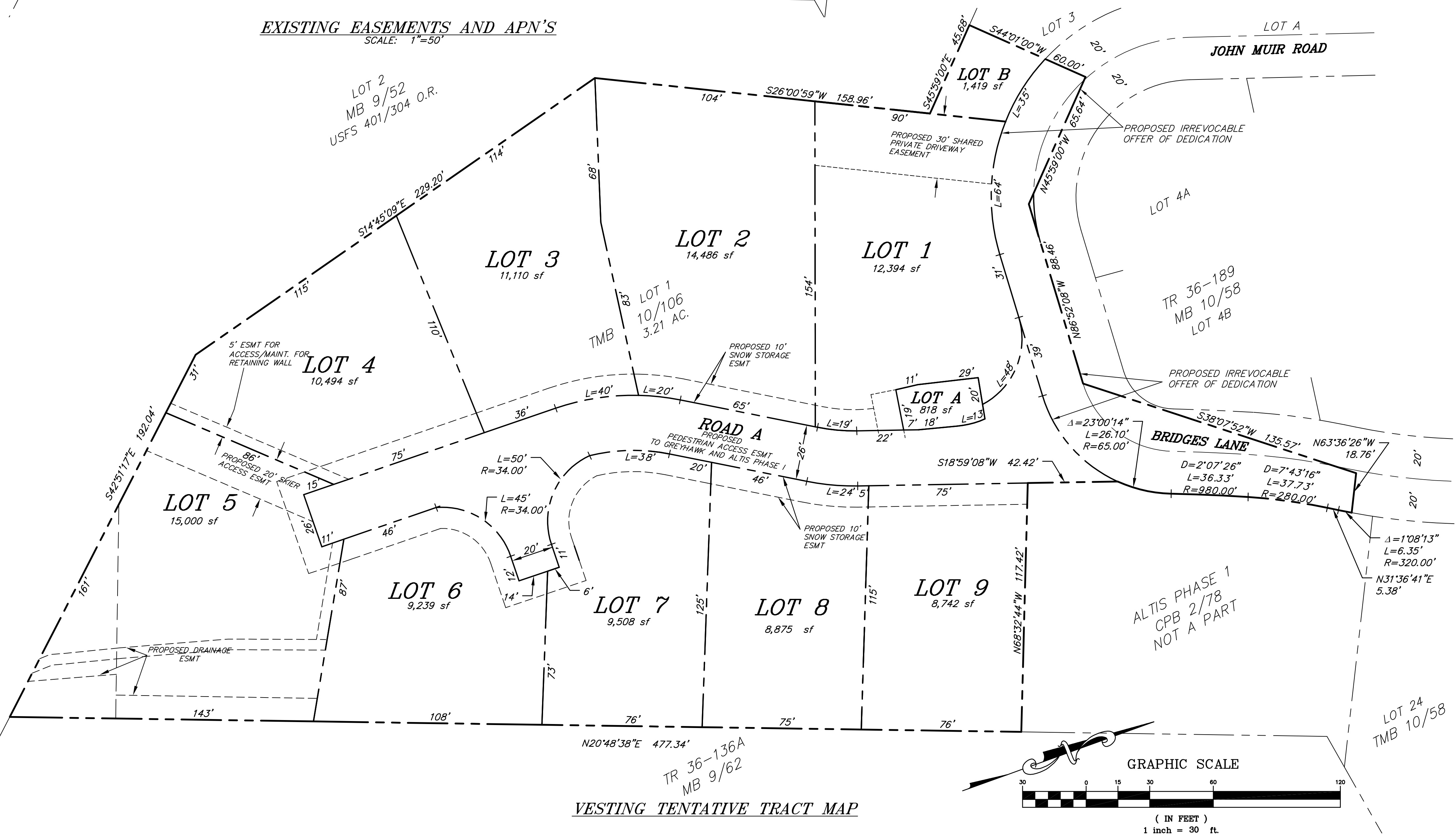
EXISTING ZONING: R (RESORT)
EXISTING LAND USE DESIGNATION: R (RESORT)

TOTAL COVERAGE CALCULATIONS:
TOTAL LOT AREA: 3,21 AC (139,828 SF)
EXISTING AC PAVEMENT IN JOHN MUIR RD/BRIDGES LANE: 9,269 SF
EXISTING CONDO BLDGS/DRIVEWAYS: 8,100 SF
PROPOSED AC PAVEMENT/RETAINING WALL: 11,701 SF
PROPOSED LOTS 1-9 TOTAL AREA: 99,925 SF
PROPOSED LOTS 1-9 LOT COVERAGE 40% (PER MC 17.16.040 RSF):
99,925 X 0.40 = 39,970 SF
TOTAL LOT COVERAGE:
39,970 + 11,701 + 8,100 + 9,269 = 69,040 / 139,828 = **49.4%**

SNOW STORAGE: PROPOSED 10' SNOW STORAGE ESMTS AS SHOWN
ASSESSOR'S PARCEL NUMBERS = 31-260-004, 394-000-000
394-007-000, 394-008-000, 394-009-000, 394-010-000
394-011-000, 394-012-000
WATER SUPPLY: MAMMOTH COMMUNITY WATER DISTRICT
SEWAGE DISPOSAL: MAMMOTH COMMUNITY WATER DISTRICT
ELECTRIC: SOUTHERN CALIFORNIA EDISON
TELEPHONE: VERIZON
FIRE PROTECTION: MAMMOTH LAKE'S FIRE PROTECTION DISTRICT
PROPANE: ROCK CREEK ENERGY
ONSITE WATER, SEWER, POWER, TELEPHONE AND TELEVISION EASEMENTS
TO BE CREATED AS REQUIRED BY UTILITY COMPANY.
LOT A IS FOR TRASH AND PARKING PURPOSES.
LOT B IS FOR FUTURE ACCESS PURPOSES.

NOTE: BEARINGS AND DISTANCES SHOWN ARE
PER TRACT NO. 36-249 ALTIS MAMMOTH, TMB 10 PAGE 106

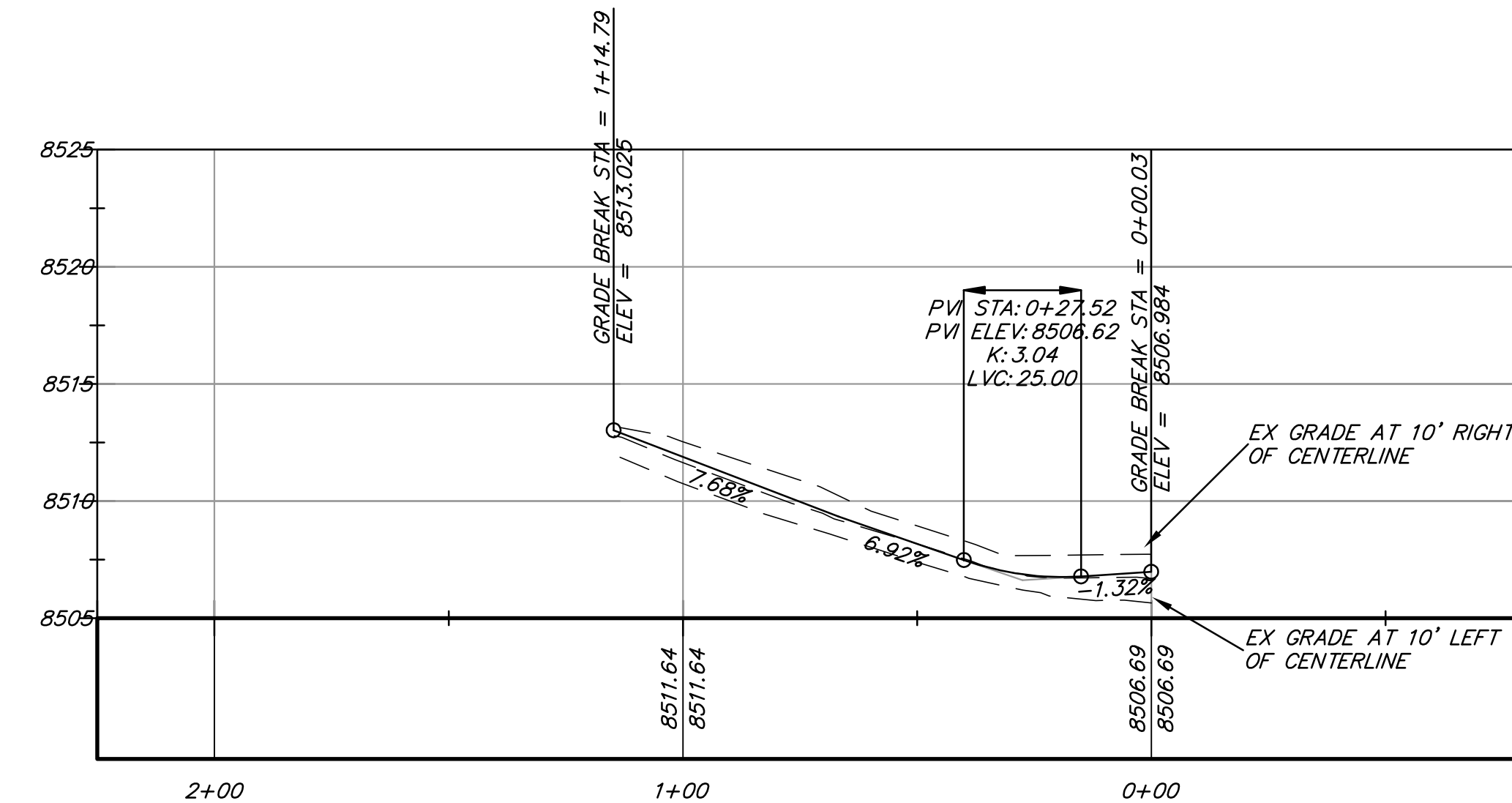
THIS PROJECT IS NOT IN A FEMA DESIGNATED FLOOD ZONE

[illegible]

AL TIS AT MAMMOTH
VESTING TENTATIVE TRACT MAP 12-001
TOWN OF MAMMOTH LAKES, CALIF
PREPARED FOR MAMMOTH BRIDGES DEVELOPMENT CO., LLC

DATE	08/16/12
SCALE	AS SHOWN
DRAWN	GP
JOB NO.	342.27
DWG	1
SHEET 1	OF 2

K:\01 Mammoth\342-27\acad\itm\Altis VTTM R2.dwg Aug 16, 2012 - 1:47pm, gposekian



PROFILE SCALES
 HORIZ 1"=30'
 VERT 1"=6'

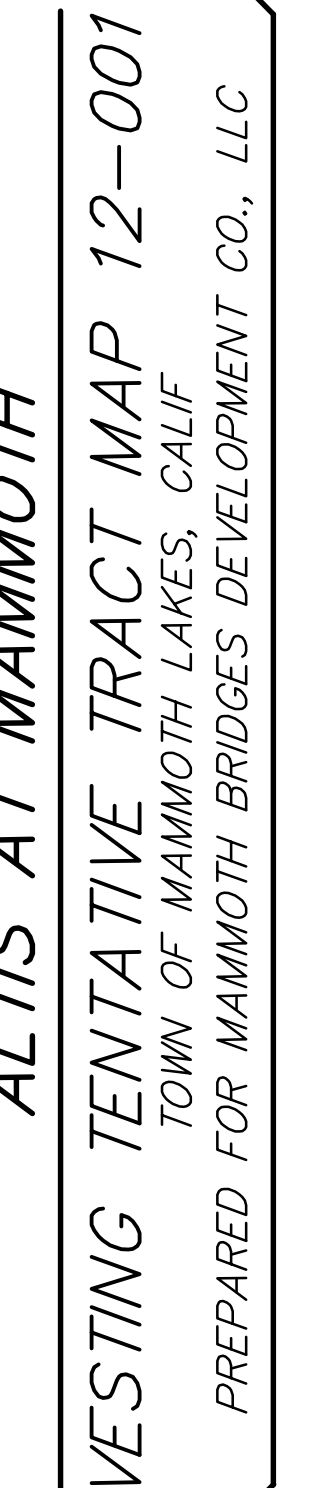


triad/holmes assoc
 civil engineering
 land surveying
 MAMMOTH LAKES
 BISHOP
 REDWOOD CITY
 SAN LUIS OBISPO

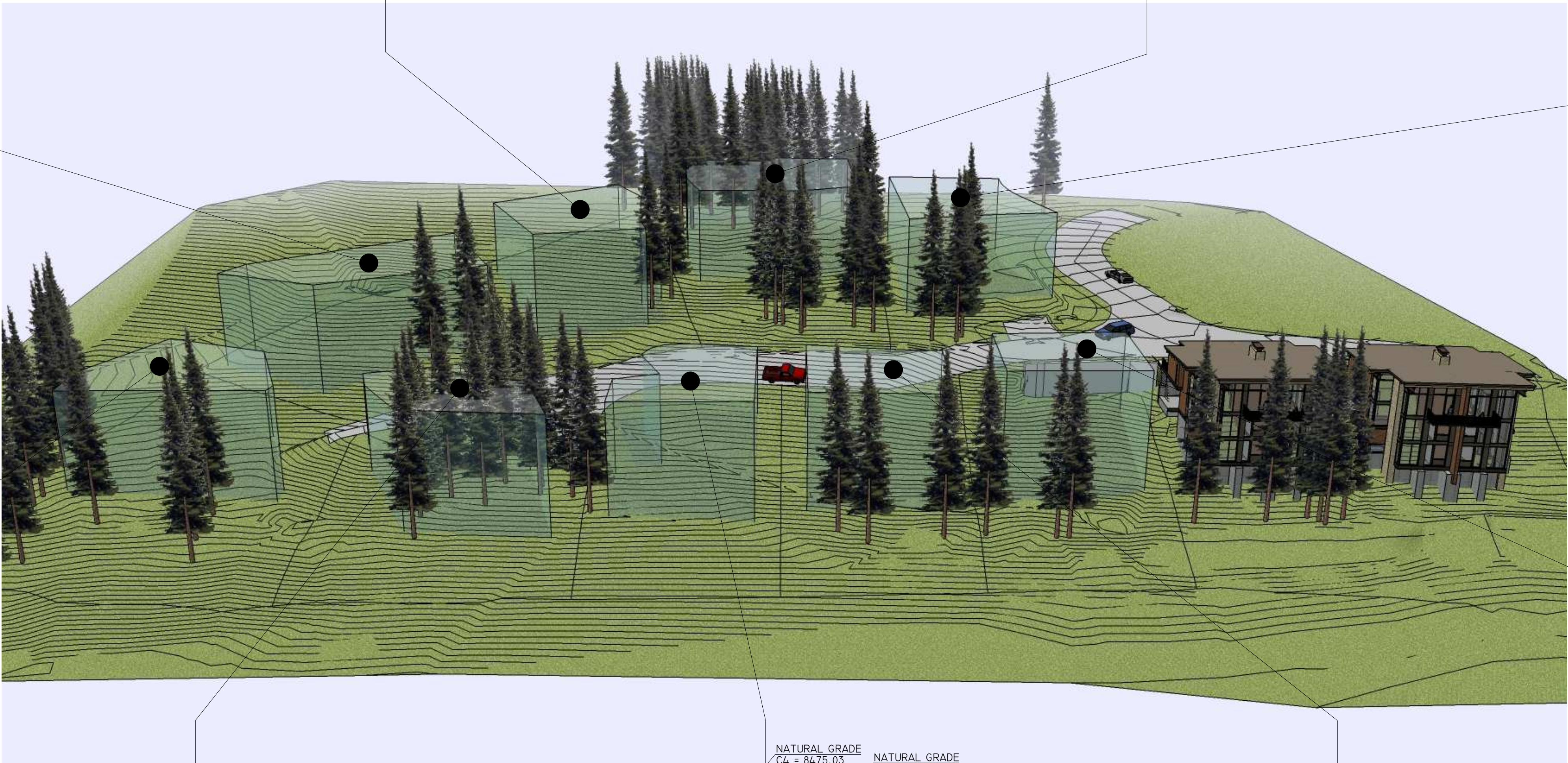
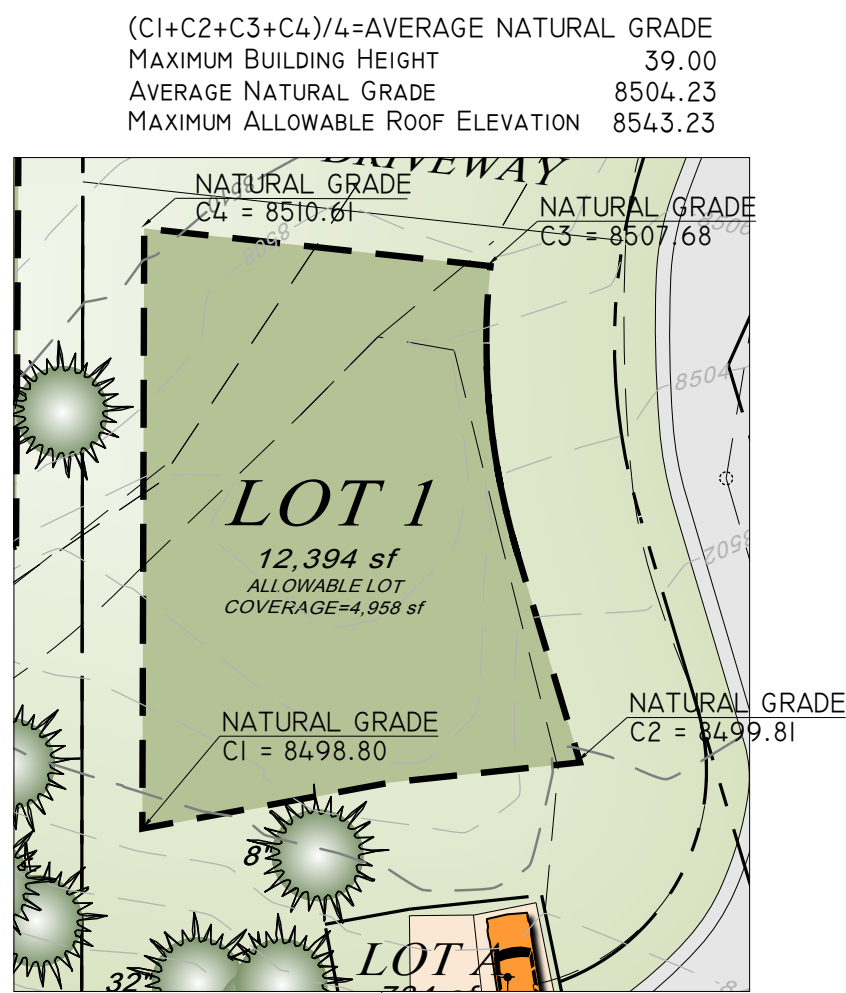
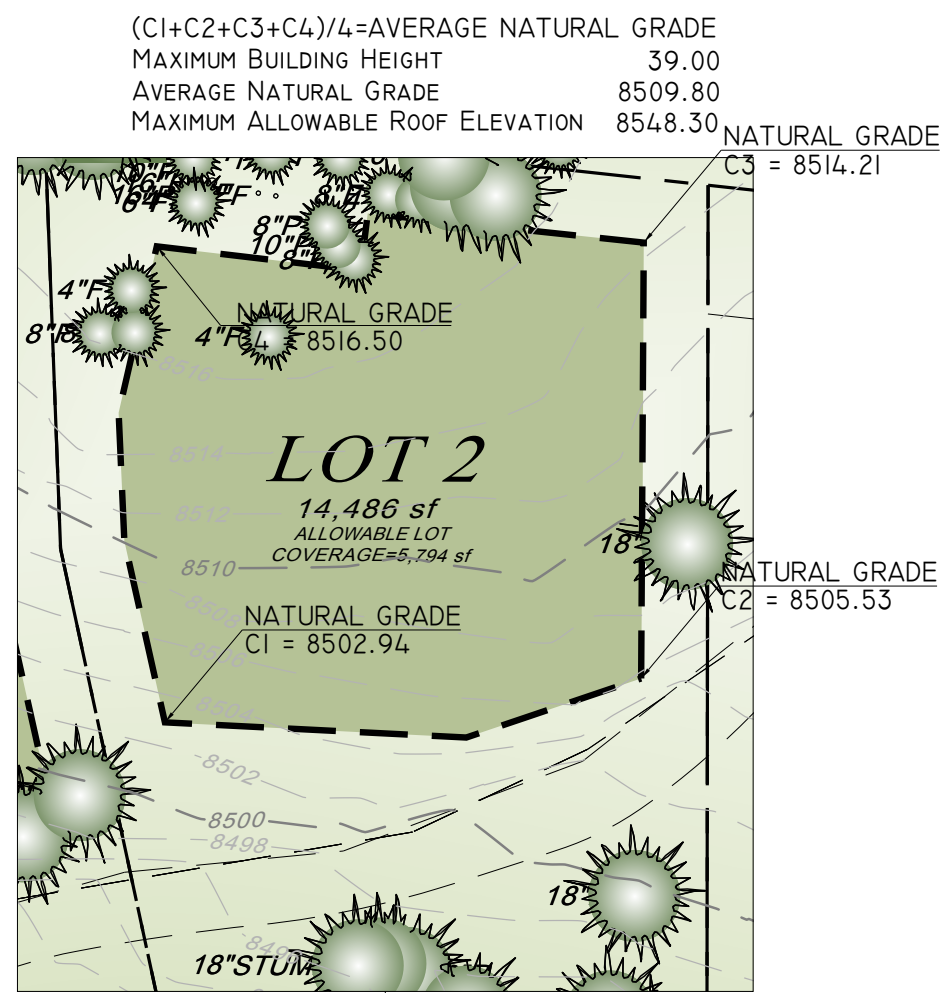
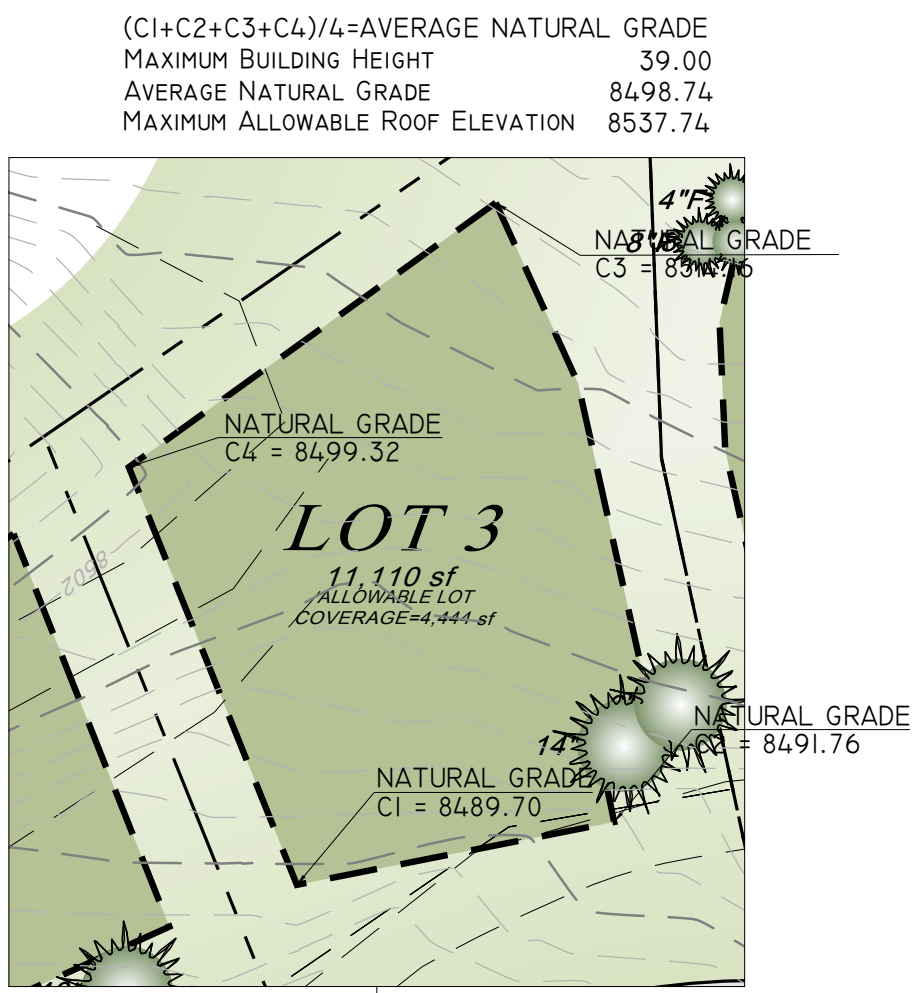
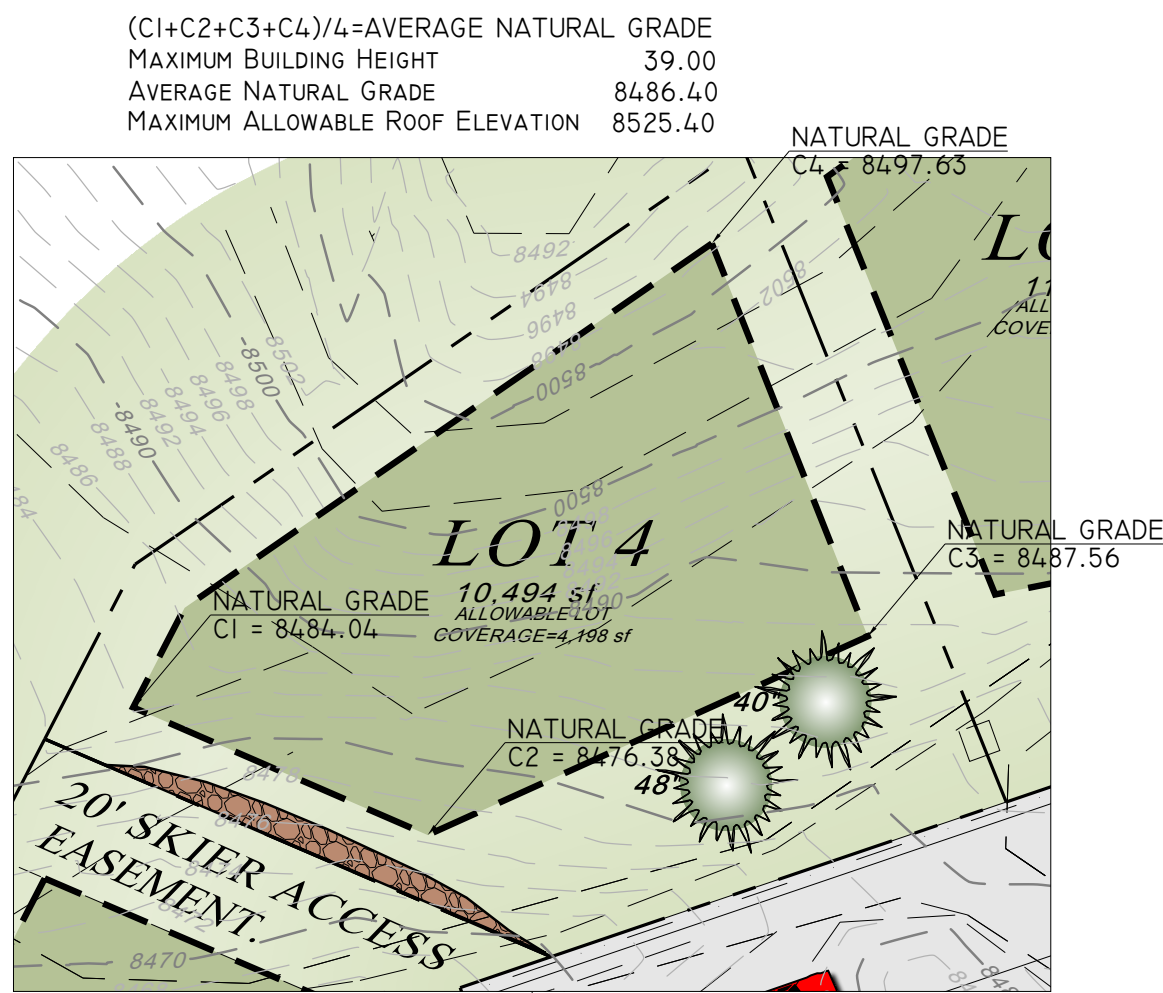
PREPARED & SUBMITTED BY:

REGISTERED PROFESSIONAL ENGINEER
THOMAS A. PLATZ
NO. C 41039
CIVIL
STATE OF CALIFORNIA

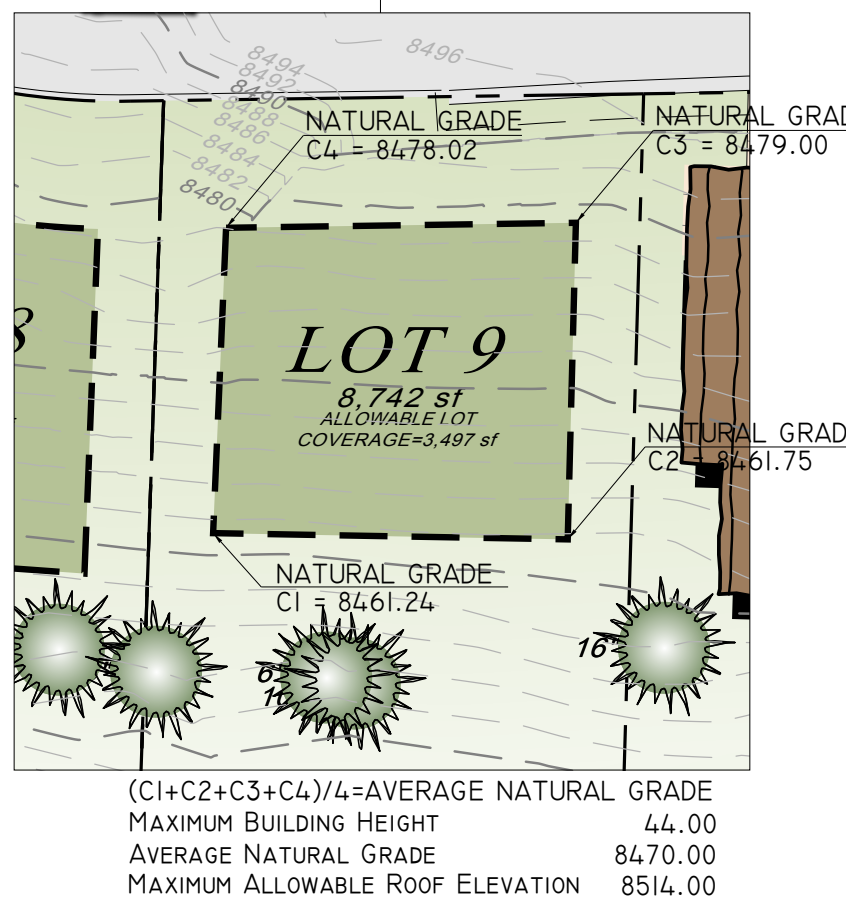
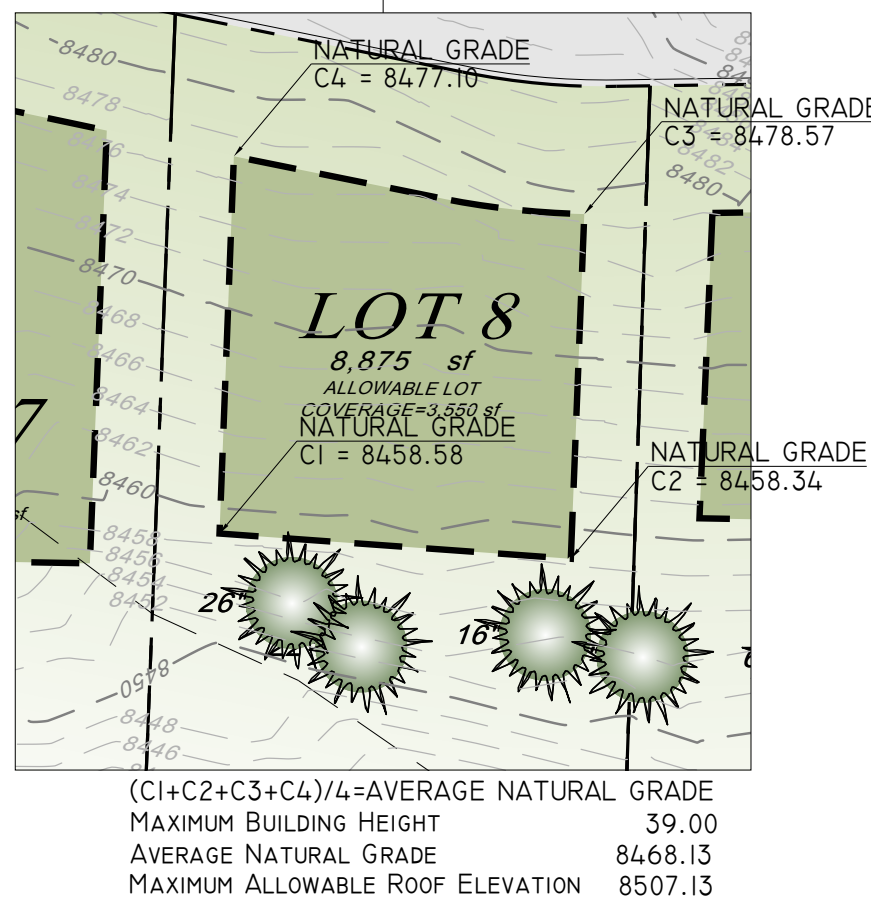
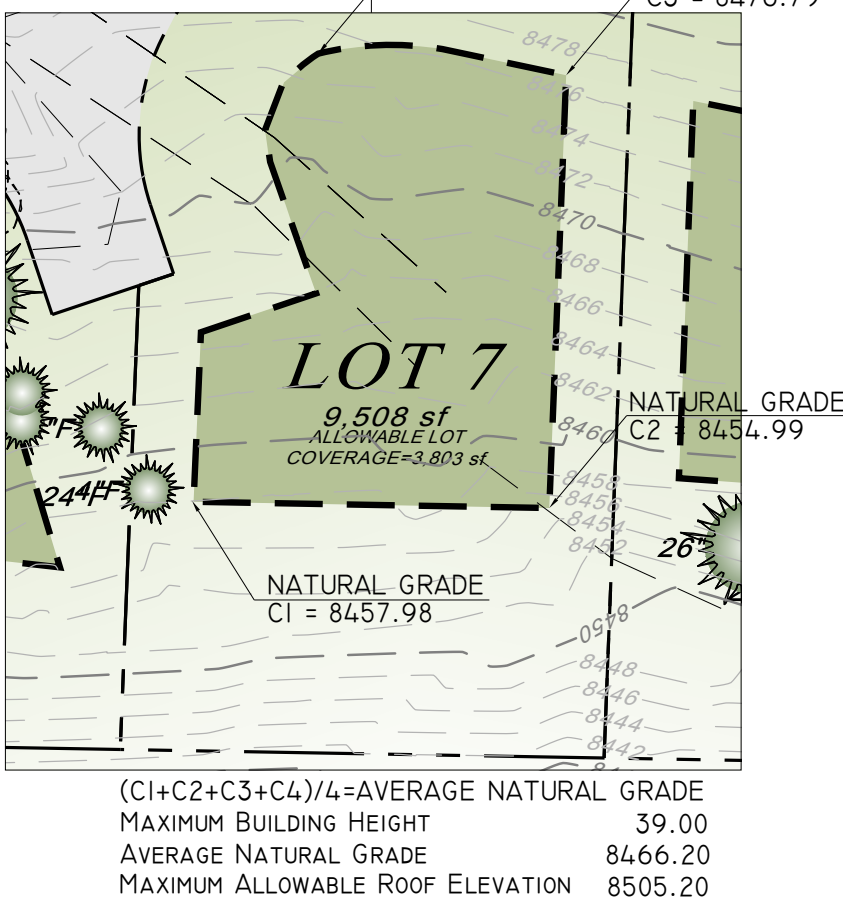
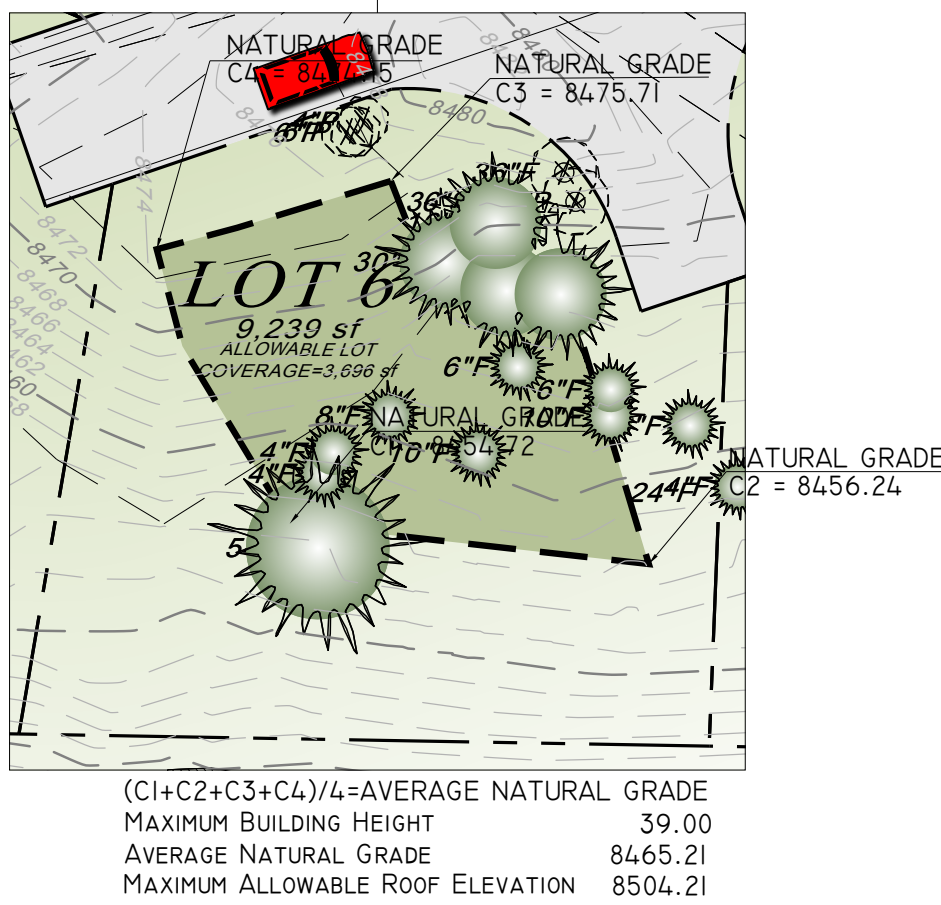
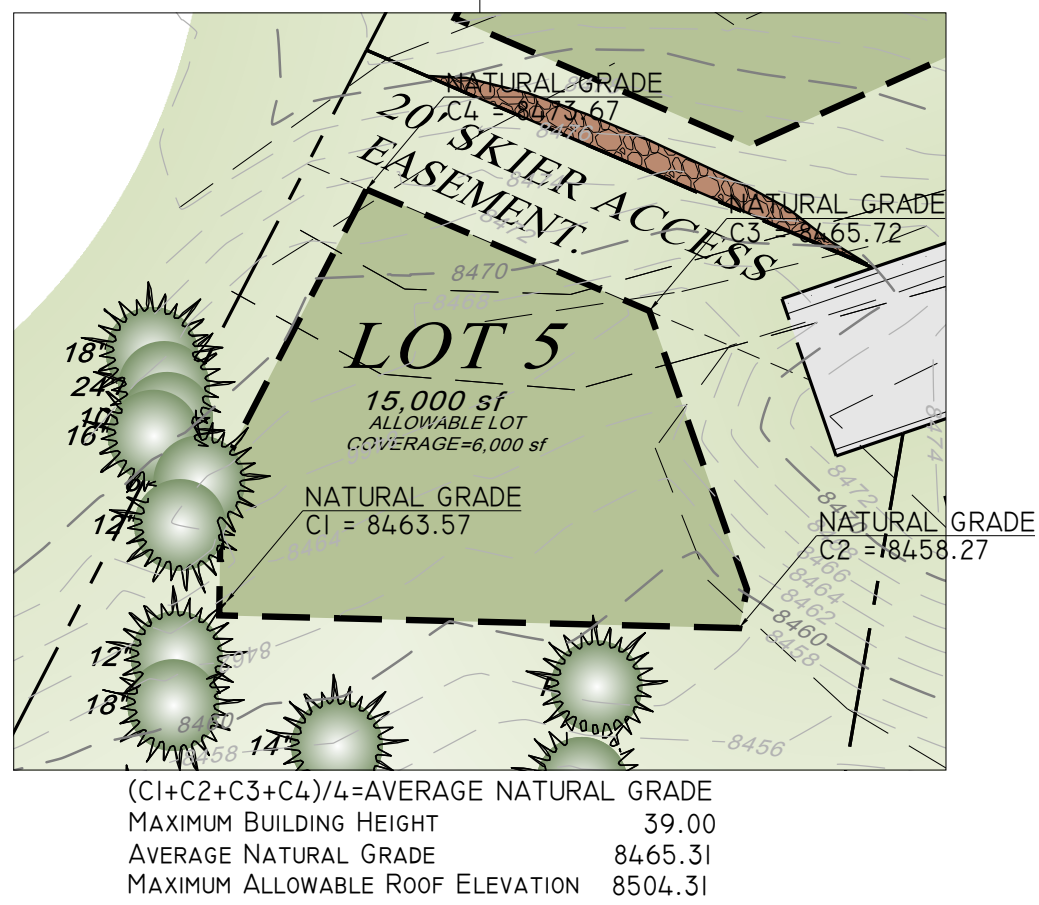
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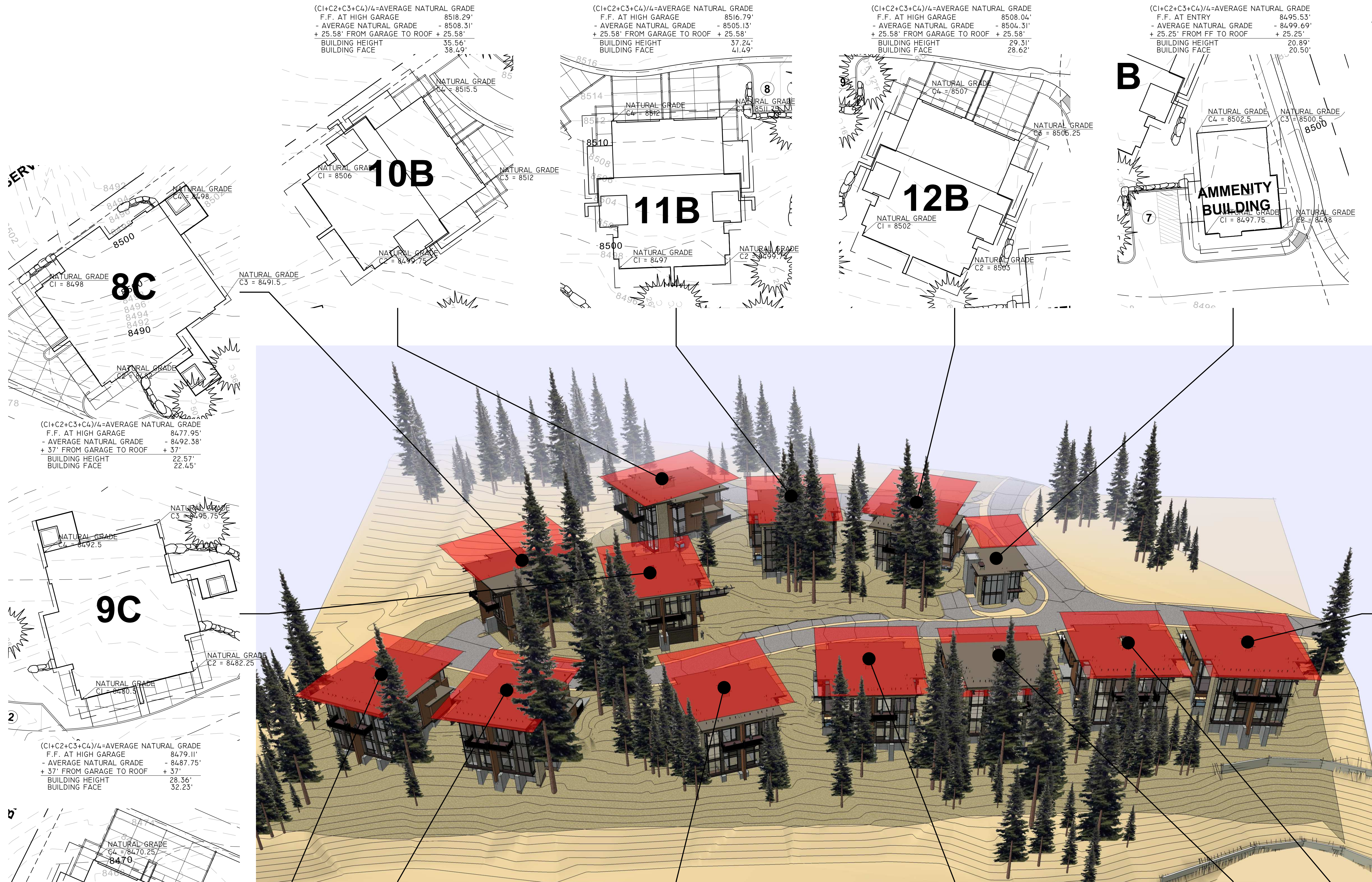
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EET	2 OF 2

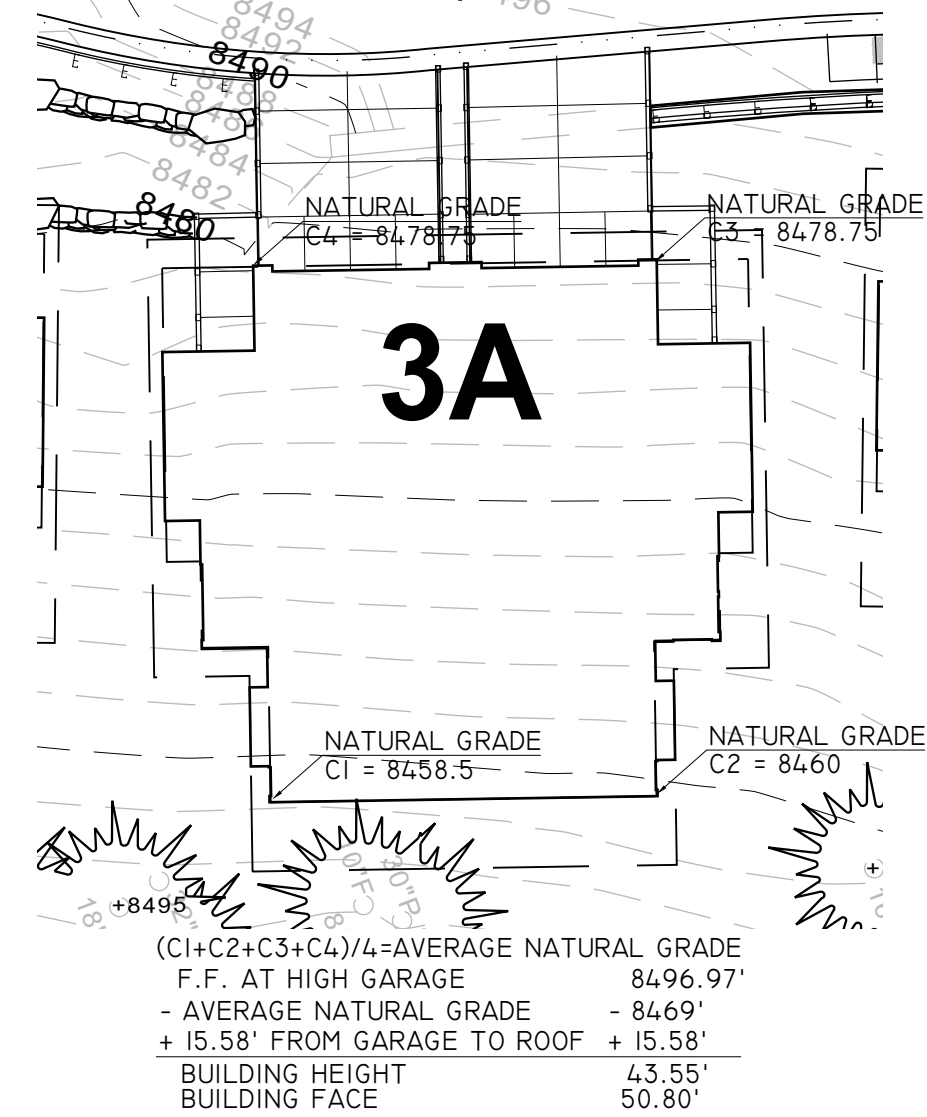
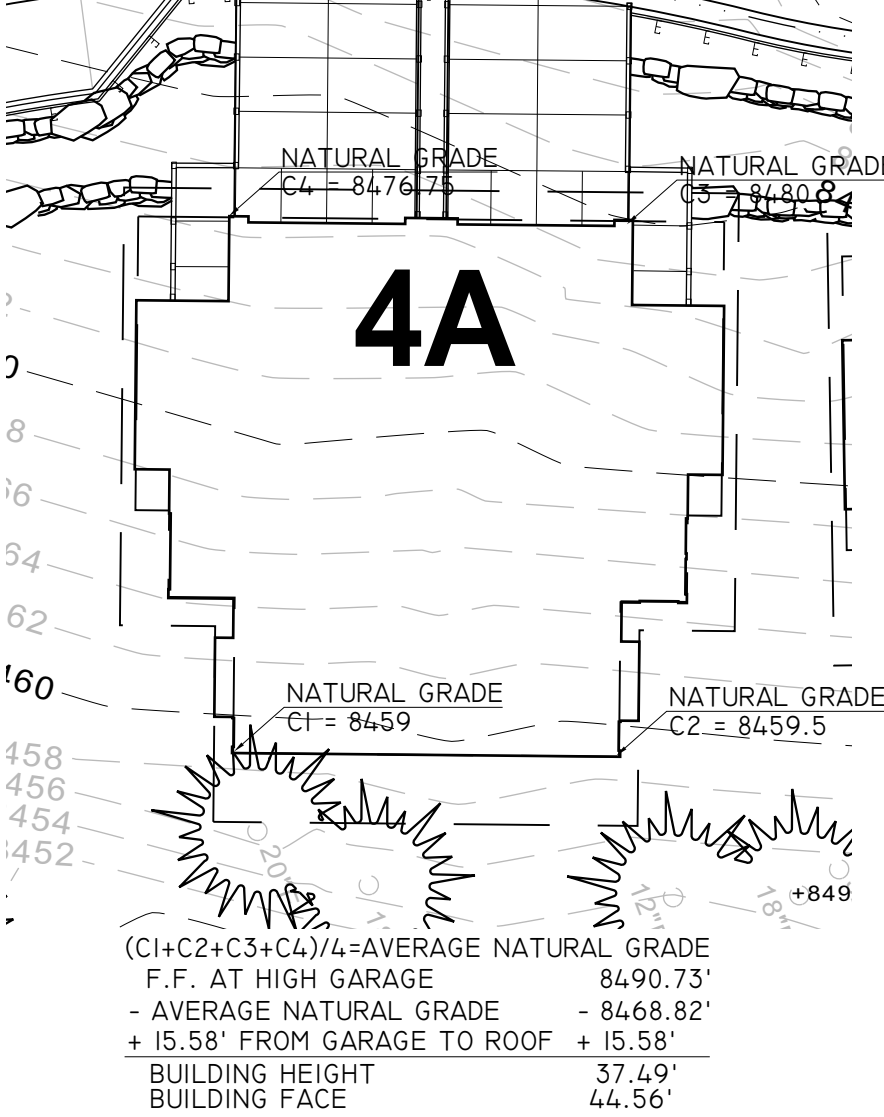
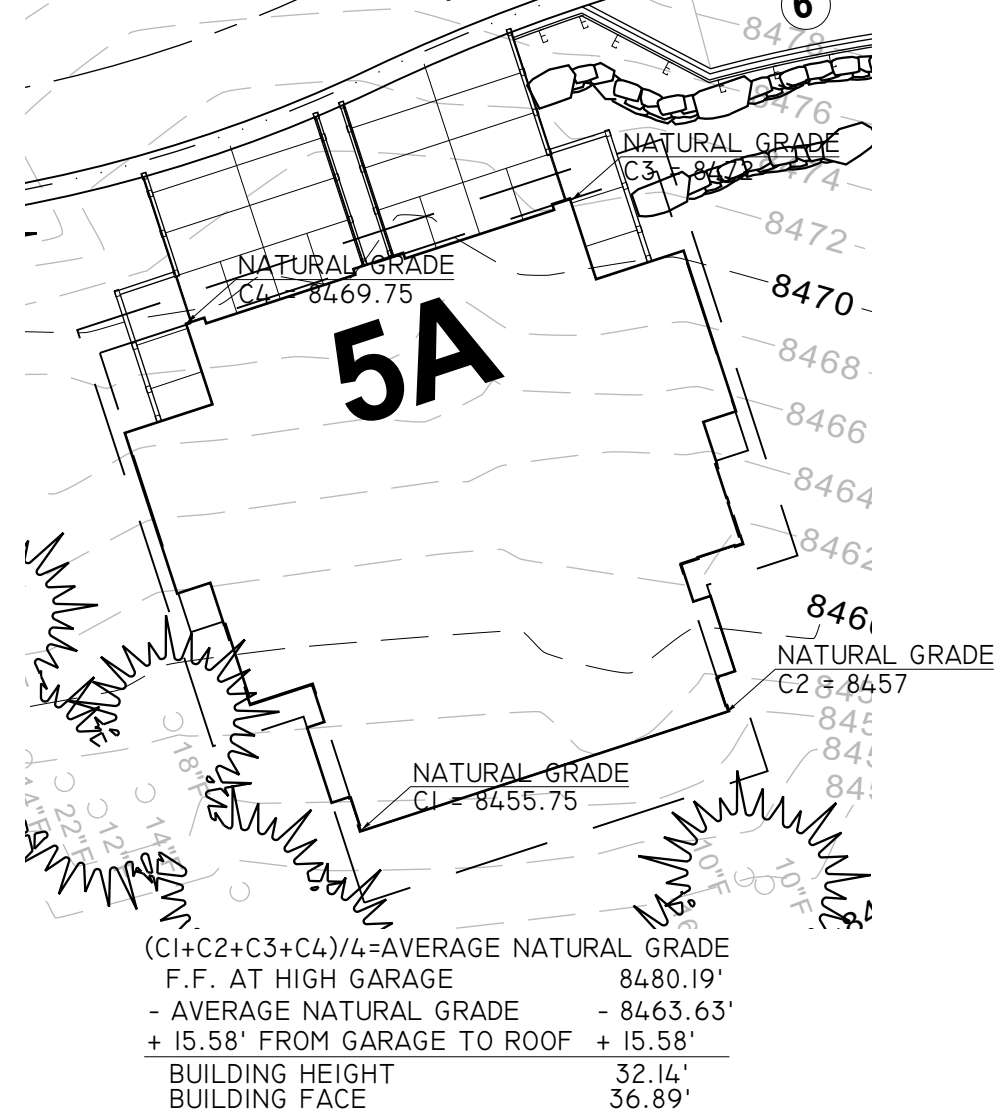
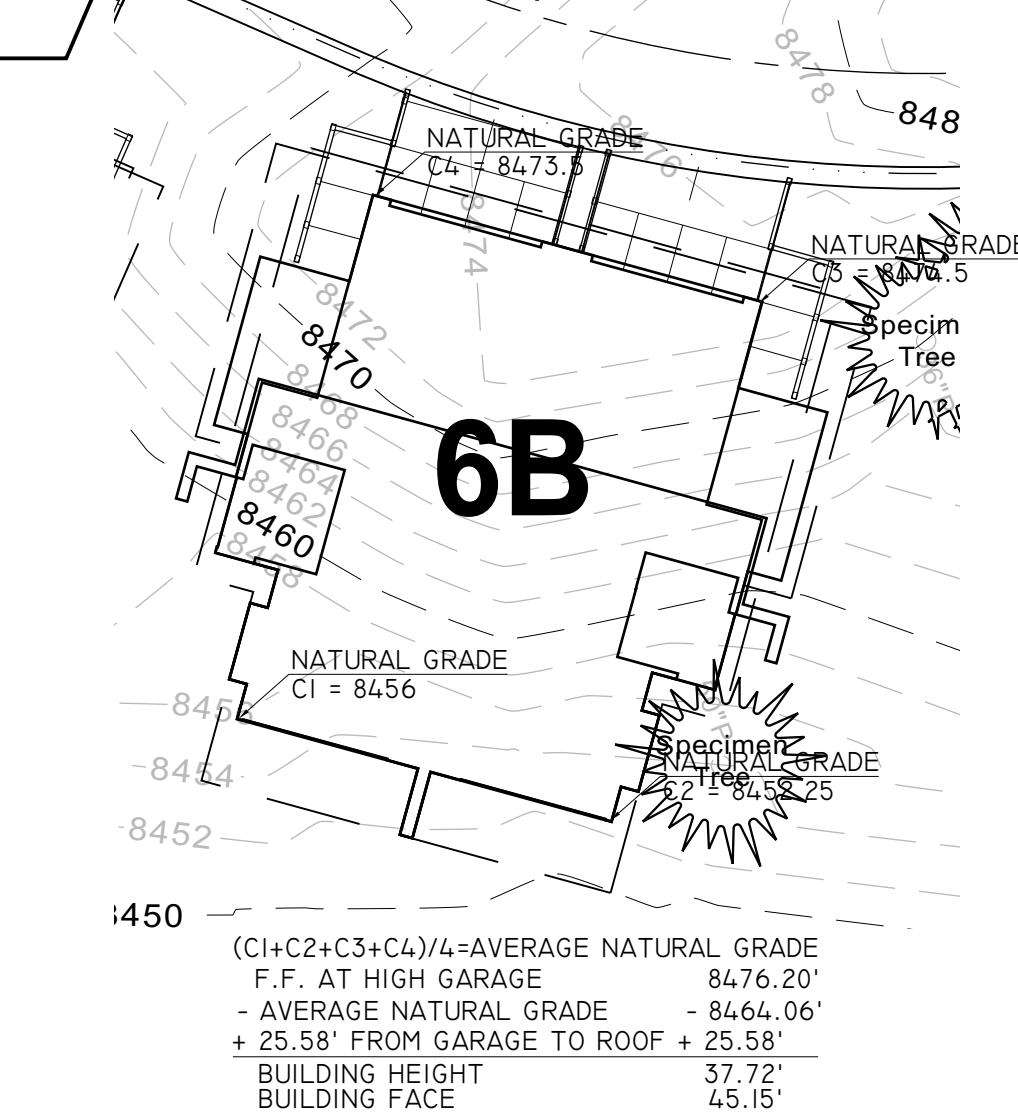
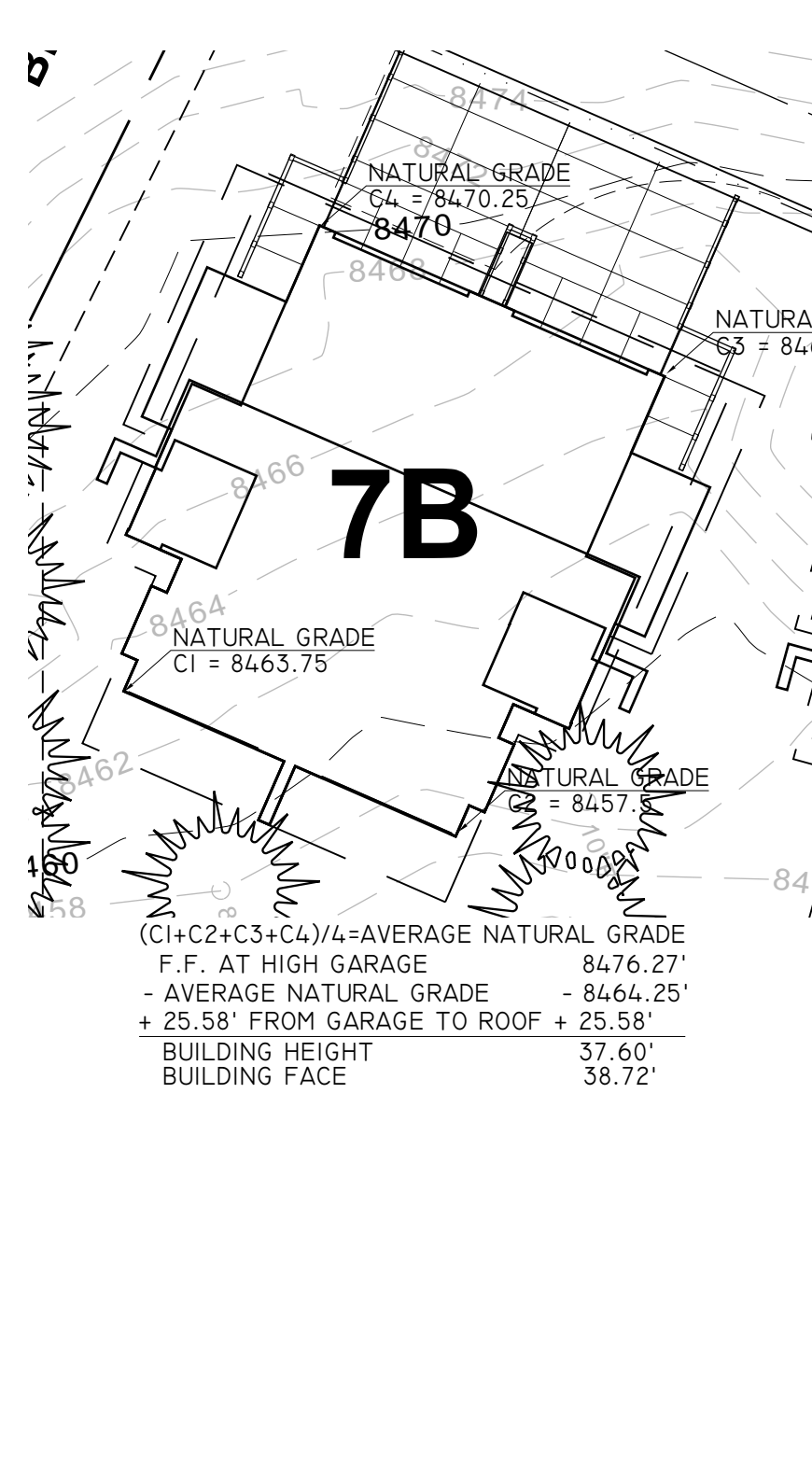
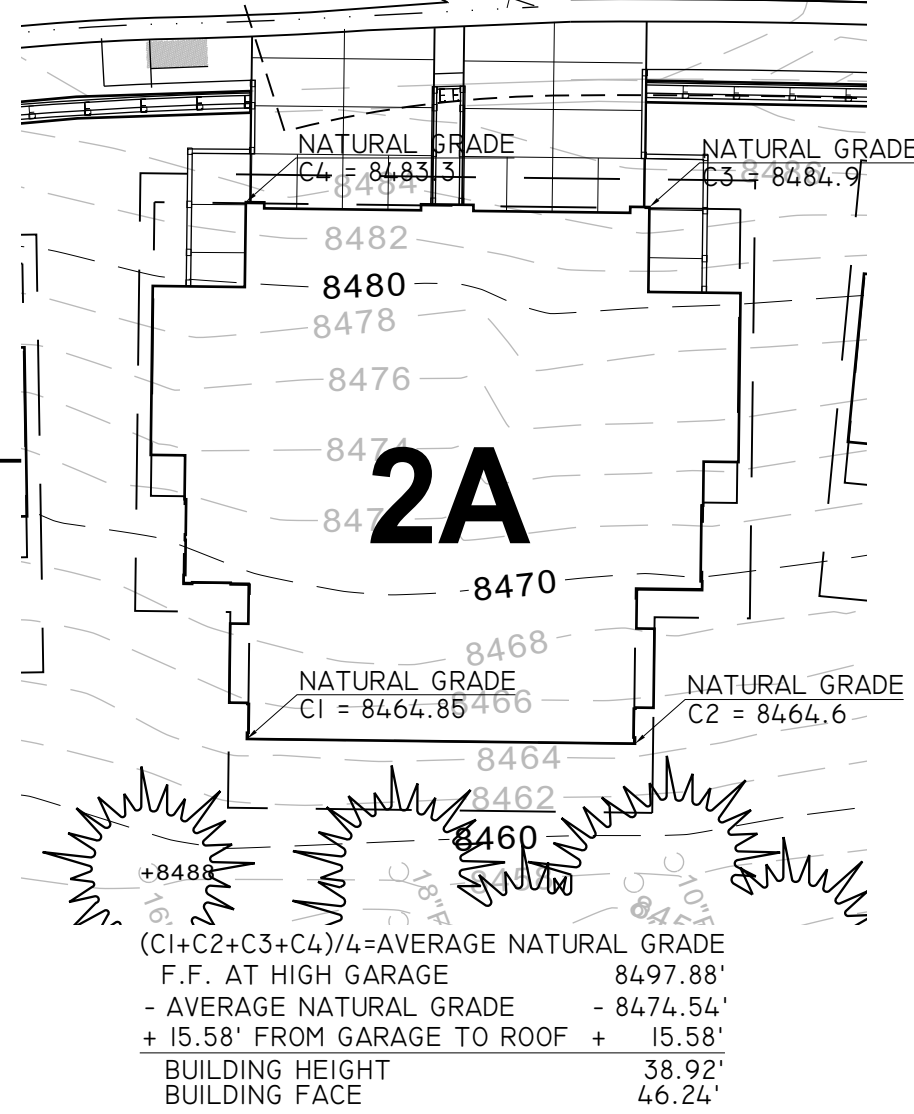
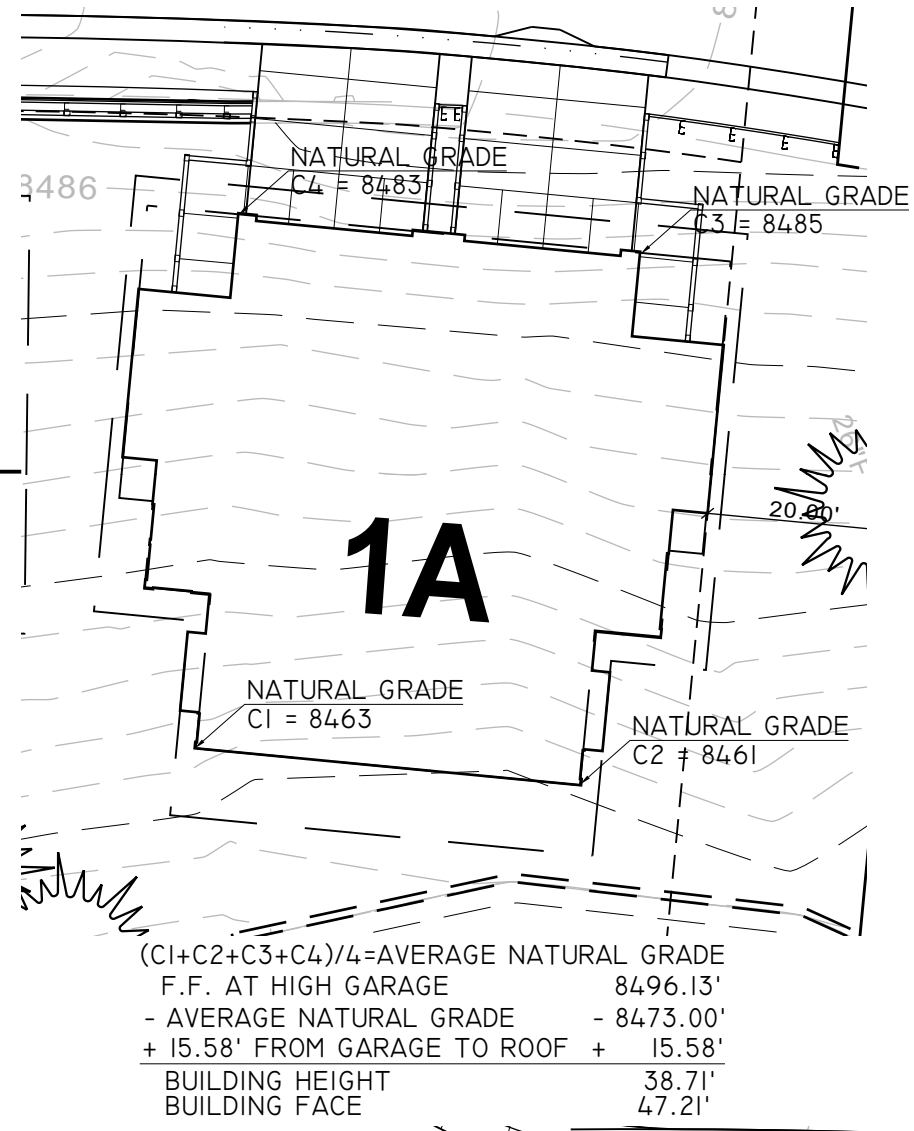


- NOTES:**
1. MAXIMUM BUILDING HEIGHT FOR EACH BUILDING ENVELOPE HAS BEEN CALCULATED PER THE METHOD DESCRIBED IN 17.16.040.F.2 FOR STRUCTURES ON LOTS HAVING AN AVERAGE SLOPE OF 10% OR GREATER. THIS SECTION STATES THAT BUILDING HEIGHT IS CALCULATED BY MEASURING THE HEIGHT AT THE FOUR OUTERMOST CORNERS OF THE STRUCTURE FROM NATURAL GRADE TO A HORIZONTAL PLANE WHICH INTERSECTS THE TOPMOST POINT OF THE BUILDING AND DIVIDING THAT TOTAL BY FOUR.
 2. CALCULATIONS ON THIS SHEET DEMONSTRATE BUILDING HEIGHT BY NOTING NATURAL GRADE AT THE FOUR OUTERMOST CORNERS OF THE BUILDING ENVELOPE (C1, C2, C3 & C4) AND DIVIDING BY FOUR. THE MAXIMUM BUILDING HEIGHT FOR LOTS 1, 2, 3, 4, 5, 6, 7 AND 8 IS 39 FEET. THE MAXIMUM BUILDING HEIGHT FOR LOT 9 IS 44 FEET.
 3. THE IMAGE ON THIS SHEET ILLUSTRATES BUILDING HEIGHT BY TAKING THE AVERAGE NATURAL GRADE OF THE FOUR OUTERMOST CORNERS OF THE FOUNDATION AND ADDING 39'. THE RESULT IS GREEN VOLUME THAT REPRESENTS THE MAXIMUM ALLOWABLE BUILDING HEIGHT UNDER EXISTING CONDITIONS.
 5. THE VEGETATION SHOWN IN IMAGE REPRESENTS ONLY EXISTING TREES ON SITE FOR CLARITY.





- NOTES:**
1. MAXIMUM BUILDING HEIGHT FOR EACH BUILDING HAS BEEN CALCULATED PER THE METHOD DESCRIBED IN 17.16.040.F.2 FOR STRUCTURES ON LOTS HAVING AN AVERAGE SLOPE OF 10% OR GREATER. THIS SECTION STATES THAT BUILDING HEIGHT IS CALCULATED BY MEASURING THE HEIGHT AT THE FOUR OUTERMOST CORNERS OF THE STRUCTURE FROM NATURAL GRADE TO A HORIZONTAL PLANE WHICH INTERSECTS THE TOPMOST POINT OF THE BUILDING AND DIVIDING THAT TOTAL BY FOUR.
 2. CALCULATIONS ON SHEETS L5.0 DEMONSTRATE BUILDING HEIGHT BY NOTING NATURAL GRADE AT THE FOUR OUTERMOST CORNERS OF THE BUILDING FOUNDATION (C1, C2, C3 & C4) AND DIVIDING BY FOUR. THE DIFFERENCE BETWEEN AVERAGE NATURAL GRADE AND THE FINISH FLOOR HEIGHT (NOTED ON THE CIVIL GRADING SHEET) IS THEN ADDED TO THE HEIGHT DIFFERENCE BETWEEN THE FINISH FLOOR HEIGHT AND THE TOPMOST POINT OF THE BUILDING TO FIGURE THE TOTAL BUILDING HEIGHT.
 3. THE IMAGE ON THIS SHEET ILLUSTRATES BUILDING HEIGHT BY TAKING THE AVERAGE NATURAL GRADE OF THE FOUR OUTERMOST CORNERS OF THE FOUNDATION AND ADDING 39'. THE RESULT IS A RED PLANE THAT REPRESENTS THE MAXIMUM ALLOWABLE BUILDING HEIGHT UNDER EXISTING CONDITIONS.
 4. BUILDING FACE HEIGHT IS CALCULATED BY ADDING 13.08' TO THE HIGHEST FINISH FLOOR AND SUBTRACTING AN AVERAGE OF THE TWO LOWEST EXISTING GRADES AT THE FOUNDATION. 13.08' IS THE DISTANCE BETWEEN THE FINISHED FLOOR AND THE UNDERSIDE OF THE ROOF.
 5. THE VEGETATION SHOWN IN IMAGE REPRESENTS ONLY EXISTING TREES ON SITE FOR CLARITY.



Altis at Mammoth Lakes

INTRASTAR
6900 South McCarran Blvd.
Ste. 3000
Reno, NV 89509

DATE: 1.15.08
PROJECT #: 06-30175
SCALE: 1"=20'-0"

NORTH
SHEET #:

TTM-UPA SUBMITTAL

landworks
design, inc.
LIC. NO. 4913
3467 RINGBERRY COURT | UNIT 110
DENVER, CO 80216
P: 303.433.4201 | F: 303.433.4359

McPROUD & ASSOCIATES
LANDSCAPE ARCHITECTURE
LIC. NO. 2098
1030 265 0650 | FAX: (303) 265-5157
118 WOODLARK STREET, NORTON CITY, CALIFORNIA 95955

HEIGHT STUDY DIAGRAM
L4.0



Town of Mammoth Lakes

ADDENDUM II
Storied Places/Altis Project
Initial Study/Mitigated Negative Declaration
(State Clearinghouse No. 2005052094)

Mitigation Monitoring and Reporting Program

August 9, 2012

Lead Agency:

Town of Mammoth Lakes
PO Box 1609
437 Old Mammoth Road, Suite R
Mammoth Lakes, California 93546

Contact: Ms. Jen Daugherty, Associate Planner
(760) 934-8989 ext. 260

INTRODUCTION

The Initial Study/Mitigated Negative Declaration (IS/MND) and Addendums I and II have been prepared pursuant to the requirements of the California Environmental Quality Act (CEQA) (see Public Resources Code Section 21000 et seq.), as well as the State CEQA Guidelines (see Title 14 of the California Code of Regulations Section 15000 et seq.).

The IS/MND was made available for public review and comment pursuant to State CEQA Guidelines Section 15070 et seq. The IS/MND and supporting attachments were available for review by the general public at the offices of the Town of Mammoth Lakes Community Development Department, 437 Old Mammoth Road, Suite R, Mammoth Lakes, California.

Mitigation Monitoring and Reporting Program

CEQA requires that when a public agency completes an environmental document which includes measures to mitigate or avoid significant environmental effects, the public agency must adopt a reporting or monitoring program. This requirement ensures that environmental impacts found to be significant will be mitigated. The reporting or monitoring program must be designed to ensure compliance during project implementation (Public Resources Code Section 21081.6).

In compliance with Public Resources Code Section 21081.6, the attached Section 3, *Mitigation Monitoring and Reporting Program*, has been prepared for the Storied Places/Altis Project. This Mitigation Monitoring and Reporting Program is intended to provide verification that all applicable Conditions of Approval relative to significant environmental impacts are monitored and reported. Monitoring will include: 1) verification that each mitigation measure has been implemented; 2) recordation of the actions taken to implement each mitigation; and 3) retention of records in the Altis Master Plan file.

This Mitigation Monitoring and Reporting Program delineates responsibilities for monitoring the project, but also allows the Town of Mammoth Lakes (“Town”) flexibility and discretion in determining how best to monitor implementation. Monitoring procedures will vary according to the type of mitigation measure. Adequate monitoring consists of demonstrating that monitoring procedures took place and that mitigation measures were implemented. This includes the review of all monitoring reports, enforcement actions, and document disposition, unless otherwise noted in the attached Mitigation Monitoring and Reporting Program table. If an adopted mitigation measure is not being properly implemented, the designated monitoring personnel shall require corrective actions to ensure adequate implementation.

Reporting consists of establishing a record that a mitigation measure is being implemented, and generally involves the following steps:

- Departments/agencies with reporting responsibilities will review the Initial Study, which provides general background information on the reasons for including specified mitigation measures.

- The Town will distribute reporting forms to the appropriate entities for verification of compliance.
- Problems or exceptions to compliance will be addressed to the Town as appropriate.
- Periodic meetings may be held during project implementation to report on compliance of mitigation measures.
- Responsible parties provide the Town with verification that monitoring has been conducted and ensure, as applicable, that mitigation measures have been implemented. Monitoring compliance may be documented through existing review and approval programs such as field inspection reports and plan review.
- The Town prepares a reporting form periodically during the construction phase and an annual report summarizing all project mitigation monitoring efforts.
- Appropriate mitigation measures will be included in construction documents and/or conditions of permits/approvals.

Minor changes to the Mitigation Monitoring and Reporting Program, if required, would be made in accordance with CEQA and would be permitted after further review and approval by the Town. Such changes could include reassignment of monitoring and reporting responsibilities, program redesign to make any appropriate improvements, and/or modification, substitution, or deletion of mitigation measures subject to conditions described in CEQA Guidelines Section 15162. No change will be permitted unless the Mitigation Monitoring and Reporting Program continues to satisfy the requirements of Public Resources Code Section 21081.6.



Mitigation Number	Mitigation Measure	Monitoring and Reporting Process	Monitoring Milestones	Party Responsible for Monitoring ¹	VERIFICATION OF COMPLIANCE		
					Initials	Date	Remarks
AESTHETICS							
AES-1	Tinted glass shall be required on east facing windows to reduce light transmittance from interior lighting.	Review and Approval of Building Permits	Prior to Building Permit Approval / Certificate of Occupancy	Town of Mammoth Lakes CDD			
AIR QUALITY							
AQ-1	A comprehensive erosion and sediment control plan, including watering for fugitive dust control, will be required in conjunction with site development and shall be shown on project grading plans. The Town shall require and monitor dust control measures during site grading operations. Methods to control airborne dust, erosion, and sediment transport shall be required as part of a grading permit application to the Town.	Review and Approval of Grading Plans and Specifications; PWD Field Inspections	Prior to Grading Plan and Specification Approval; During Construction / Grading Activity	Town of Mammoth Lakes CDD and PWD			
AQ-2	Disturbed areas shall be re-vegetated to provide permanent soil stabilization.	Review and Approval of Grading Plans and Building Permits; PWD Field Inspections	Prior to Grading Plan Approval; During Construction / Grading Activity	Town of Mammoth Lakes CDD and PWD			
AQ-3	Each unit in the project is limited to the installation of a single EPA Phase II stove or gas heating appliance.	Review and Approval of Building Permits	Prior to Building Permit Approval / Certificate of Occupancy	Town of Mammoth Lakes Building Department and CDD			

¹ CDD = Community Development Department; PWD = Public Works Department



Town of Mammoth Lakes
ADDENDUM II – Storied Places/Altis Project IS/MND
Mitigation Monitoring and Reporting Program

Mitigation Number	Mitigation Measure	Monitoring and Reporting Process	Monitoring Milestones	Party Responsible for Monitoring ¹	VERIFICATION OF COMPLIANCE		
					Initials	Date	Remarks
AQ-4	Road dust will be controlled by street sweeper maintenance. A monetary contribution to a system for removal of particulate matter utilized on Town roads for traction control shall be made as part of the Town's Development Impact Fees.	Review and Approval of Building Permits	Prior to Building Permit Approval	Town of Mammoth Lakes Building Department and CDD			
AQ-5	The project must conform to the requirements of the Air Quality Management Plan and the Particulate Emissions Regulations of the Town Municipal Code.	Review and Approval of Building Permits	Prior to Building Permit Approval / Certificate of Occupancy	Town of Mammoth Lakes Building Department and CDD			
BIOLOGICAL RESOURCES							
BIO-1	Identify on a plan all dead standing and downed trees greater than 30" dbh that will be removed for construction, including areas of building footprints as shown on the master plan. These trees to be removed shall be approved by staff prior to approval of this application.	Completed prior to Master Plan Approval	Master Plan Approval	Town of Mammoth Lakes CDD	JD	5-8-12	No dead or downed trees larger than 30" dbh observed on-site.
BIO-2	All downed 30" dbh trees affected by roadway or home construction shall be shown on a plan that relocates all such trees to areas not affected by new development. This shall be shown on a plan to be approved by staff prior to approval of grading and/or building permits.	Review and Approval of Grading Plans and Building Permits	Prior to Grading Plan Approval; PWD Inspections	Town of Mammoth Lakes PWD and CDD	JD	5-8-12	No downed 30" dbh trees observed on-site.
BIO-3	Windfalls and other coarse woody debris removed from building sites on the project area shall be redistributed onto adjacent, undeveloped natural areas to enhance structural	Review and Approval of Grading Plans	During Construction / Grading Activity; PWD Inspections	Town of Mammoth Lakes CDD and PWD			



Town of Mammoth Lakes
ADDENDUM II – Storied Places/Altis Project IS/MND
Mitigation Monitoring and Reporting Program

Mitigation Number	Mitigation Measure	Monitoring and Reporting Process	Monitoring Milestones	Party Responsible for Monitoring ¹	VERIFICATION OF COMPLIANCE		
					Initials	Date	Remarks
	diversity and promote continued wildlife use of forested habitats. This shall be included on plans prior to issuance of grading and/or building permits.						
BIO-4	The CC&R's for this project shall prohibit any removal of trees unless they constitute a hazard to adjacent structures.	Review of Revised CC&R's	Prior to Staff Approval of Final Map	Town of Mammoth Lakes CDD and PWD			
BIO-5	Construction areas shall be clearly delineated to minimize impact. Fencing shall be erected no farther than 5 feet from the top of fills and toe of slopes and all areas of construction. The intent of such fencing is to be a rigid physical barrier that prohibits construction vehicles from crossing, and shall be delineated on plans and approved by staff prior to issuance of a grading permit. All fencing shall be installed and approved by staff prior to any grading activity on-site. No ground disturbance shall be permitted outside of these areas.	Review and Approval of Grading Plans and Specifications; PWD Field Inspections	Prior to Grading Plan and Specification Approval; During Construction / Grading Activity	Town of Mammoth Lakes CDD and PWD			
BIO-6	Access to work areas shall utilize existing dirt roads or primary access routes within the project area to the maximum extent feasible to avoid unnecessary disturbance to native vegetation outside the project area limits.	Review and Approval of Grading Plans; PWD Field Inspections	Prior to Grading Plan Approval; During Construction / Grading Activity	Town of Mammoth Lakes CDD and PWD			
BIO-7	Vegetation removal shall be limited to only those areas identified on the approved plan. This language shall be placed in the CC&R's for the project.	Review of Revised CC&R's	Prior to Staff Approval of Final Map	Town of Mammoth Lakes CDD and PWD			



Town of Mammoth Lakes
ADDENDUM II – Storied Places/Altis Project IS/MND
Mitigation Monitoring and Reporting Program

Mitigation Number	Mitigation Measure	Monitoring and Reporting Process	Monitoring Milestones	Party Responsible for Monitoring ¹	VERIFICATION OF COMPLIANCE		
					Initials	Date	Remarks
BIO-8	Revegetation of disturbed areas shall be conducted immediately following construction.	Review and Approval of Grading Plans; PWD Field Inspections	Prior to Grading Plan Approval; During Construction / Grading Activity	Town of Mammoth Lakes CDD and PWD			
BIO-9	The spread of weeds shall be deterred by covering stockpiled topsoil and revegetating disturbed sites as soon as possible.	Review and Approval of Grading Plans and Specifications; PWD Field Inspections	Prior to Grading Plan and Specifications Approval; During Construction / Grading Activity	Town of Mammoth Lakes CDD and PWD			
BIO-10	Dogs shall be prohibited in the project area during construction.	PWD and Building Department Inspections	During Construction	Town of Mammoth Lakes CDD, PWD, and Building Department			
BIO-11	Construction activities shall occur during daytime hours only. Noise levels shall be kept to a minimum by muffling equipment such as engines and generators.	Review and Approval of Grading Plans and Specifications; Inspections	Prior to Grading Plan and Specifications Approval; During Construction	Town of Mammoth Lakes CDD, PWD, and Building Department			
BIO-12	Open ditches and trenches shall be covered during nighttime hours each day.	Review and Approval of Grading and Building Plans; Inspections	Prior to Grading Plan and Building Permit Approval; During Construction	Town of Mammoth Lakes CDD, PWD, and Building Department			



Town of Mammoth Lakes
ADDENDUM II – Storied Places/Altis Project IS/MND
Mitigation Monitoring and Reporting Program

Mitigation Number	Mitigation Measure	Monitoring and Reporting Process	Monitoring Milestones	Party Responsible for Monitoring ¹	VERIFICATION OF COMPLIANCE		
					Initials	Date	Remarks
BIO-13	Refueling and repair of equipment shall be confined to disturbed areas.	Review and Approval of Grading and Building Plans; Inspections	Prior to Grading Plan and Building Permit Approval; During Construction	Town of Mammoth Lakes CDD, PWD, and Building Department			
BIO-14	Preservation of valuable habitat features such as trees, downed logs, snags, and rock piles shall be preserved to the maximum extent feasible and shall be accomplished as outlined in mitigation measures outlined in BIO-7 above.	Review and Approval of Grading and Building Plans; Inspections	Prior to Grading Plan and Building Permit Approval; During Construction	Town of Mammoth Lakes CDD, PWD, and Building Department			
BIO-15	No permanent solid fences, which could be a barrier to wildlife movement, shall be constructed on the subject property. This language shall be placed in the CC&R's for the project.	Review of Revised CC&R's; Review and Approval of Grading and Building Plans	Prior to Staff Approval of Final Map; Prior to Grading and Building Permit Approval	Town of Mammoth Lakes CDD and PWD			
BIO-16	Management of open space areas shall be specified in the CC&R's, including restrictions on tree removal and disposal of hazardous materials.	Review of Revised CC&R's	Prior to Staff Approval of Final Map	Town of Mammoth Lakes CDD and PWD			
BIO-17	Town leash laws shall be reiterated in the project CC&R's.	Review of Revised CC&R's	Prior to Staff Approval of Final Map	Town of Mammoth Lakes CDD and PWD			
BIO-18	Reduced speed limits of 10 miles per hour shall be imposed along all roads within and leading to and from the development to reduce the risk of wildlife-vehicle collisions.	Review of Grading Permit for Road	Final Inspection of Roads	Town of Mammoth Lakes CDD and PWD			



Mitigation Number	Mitigation Measure	Monitoring and Reporting Process	Monitoring Milestones	Party Responsible for Monitoring ¹	VERIFICATION OF COMPLIANCE		
					Initials	Date	Remarks
CULTURAL RESOURCES							
CULT-1	Should evidence of potentially significant cultural resources be discovered during grading and/or construction of the project, a mitigation plan shall be developed and completed prior to further construction or earth disturbance.	Ground Disturbance Activities	During Ground Disturbance	Town of Mammoth Lakes CDD and PWD			
CULT-2	The <u>Professional Guide for the Preservation of Native American Remains and Associated Grave Goods</u> shall be utilized to protect Native American burial sites should they be discovered.	Construction Activities	During Construction	Town of Mammoth Lakes CDD and PWD			
GEOLOGY AND SOILS							
GEO-1	All new construction is to be built in accordance with the requirements of the Uniform Building Code for Seismic Zone IV.	Review and Approval of Building Permit	Prior to Building Permit Approval	Town of Mammoth Lakes CDD, PWD, and Building Department			
GEO-2	The General Plan EIR evaluated geology and soils impacts and determined that there would be a significant unavoidable impact. A Statement of Overriding Considerations was adopted for development within the Town of Mammoth Lakes.	N/A	N/A	N/A	N/A	N/A	Noted.
GEO-3	The project is subject to Best Management Practices (BMP's) as determined through the CRWQCB through issuance of a Stormwater Pollution Prevention Plan (SWPPP).	Review and Approval of Grading Plan or Building Permit	Prior to Grading Permit or Building Permit Approval	Town of Mammoth Lakes CDD, PWD, and Building Department			



Mitigation Number	Mitigation Measure	Monitoring and Reporting Process	Monitoring Milestones	Party Responsible for Monitoring ¹	VERIFICATION OF COMPLIANCE		
					Initials	Date	Remarks
GEO-4	All areas that require landscaping shall be revegetated with native vegetation.	Review and Approval of Grading Plan or Building Permit	Prior to Grading Permit or Building Permit Approval	Town of Mammoth Lakes CDD and PWD			
PUBLIC SERVICES							
PS-1	Both Bridges Lane and access roadways will be required to have a minimum paved surface at least as wide as the roads leading to them or 24 feet, whichever is less, capable of supporting imposed emergency vehicle weights (60,000 pounds). These road widths are required to be maintained at all times for emergency vehicle access.	Review of Grading Permit for Road	Final Inspection of Roads	Town of Mammoth Lakes CDD and PWD			
PS-2	Construction parking shall not extend into minimum clear widths of the road.	During Construction	Inspections	Town of Mammoth Lakes PWD and Building Department			
PS-3	Vegetation management plans shall be developed with these requirements in mind for future plant growth.	Review and Approval of Landscape Plans	Prior to Grading Permit or Landscape Plan Approval	Town of Mammoth Lakes CDD and PWD			
PS-4	“No Parking” signs shall be used to guarantee width maintenance requirements. Widths may need to be increased in driving areas adjacent to fire hydrants to allow for clear access.	Review of Grading Permit for Road	Final Inspection of Roads	Town of Mammoth Lakes CDD and PWD; Mammoth Lakes Fire Protection District			
PS-5	Maximum allowable road grade is 10%.	Review of Grading Permit for Road	Final Inspection of Roads	Town of Mammoth Lakes CDD and PWD			